



Simon Plunkett

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2 May 2023

Email: simon@plunkett.co.za

To: Ms. E. Donaldson  
Mkhambathini Town Planning Registrar  
Email: DonaldsonE@mkhambathini.gov.za

## APPEAL

**IN TERMS OF SECTION 76(1) READ WITH SCHEDULE 10 OF THE MKHAMBATHINI SPATIAL PLANNING AND LAND USE MANAGEMENT BY-LAW**

**AGAINST THE RECORD OF DECISION OF THE APPLICATION LODGED IN TERMS OF CHAPTER 4 READ WITH SCHEDULE 4 OF THE MKHAMBATHINI SPATIAL PLANNING AND LAND USE MANAGEMENT BY-LAWS AND THE MKHAMBATHINI LAND USE SCHEME (LUS): FOR VARIOUS APPROVALS TO ENABLE THE ESTABLISHMENT OF A MEDIUM DENSITY HOUSING SCHEME ON THE REMAINDER OF ERF 10 CAMPERDOWN (THE APPLICATION SITE)**

**LOCAL MUNICIPALITY REFERENCE: SPLUMA 050/2022 DISTRICT MUNICIPALITY REFERENCE: JMPT REF 11/1/1/188**

**CONSIDERED BY: THE UMGUNGUNDLOVU JOINT MUNICIPAL PLANNING – 22 MARCH 2023**

**RECORD OF DECISION RECEIVED FROM MKHAMBATHINI ON 13 APRIL 2023**

**THIS APPEAL IS LODGED AGAINST THE RECORD OF DECISION TO HAVE CERTAIN ITEMS CLARIFIED AND MADE EXPLICIT. FOR THE MOST PART, THE OWNER IS SATISFIED WITH THE RECORD OF DECISION SAVE FOR A FEW ITEMS AS WILL BE OUTLINED BELOW.**

This document is emailed and hand delivered to Mkhambathini Municipality (Municipal Manager and Town Planning Registrar) at 18 Old Main Road Camperdown and emailed and posted via Registered Mail to Mr. and Mrs. Taylor

**SIMON PLUNKETT**  
Pr.Pl n A/1983/2014

MKHAMBATHINI MUNICIPALITY			
TECHNICAL DEPARTMENT			
File no	2011/1	Date Received	02/05/2023
T.M			



**Simon Plunkett**

**2 May 2023**

Email: [simon@plunkett.co.za](mailto:simon@plunkett.co.za)

**To: Mr S Mngwengwe  
Mkhambathini Municipal Manager**

Email: [Mbonambiz@mkhambathini.gov.za](mailto:Mbonambiz@mkhambathini.gov.za)  
&

**To: Ms. E. Donaldson  
Mkhambathini Planning Registrar**

Email: [DonaldsonE@mkhambathini.gov.za](mailto:DonaldsonE@mkhambathini.gov.za)

**CC: Mr. C and Mrs S. Taylor  
17 Scott Street  
Camperdown  
3720**

Email: [clifford.taylor1957@gmail.com](mailto:clifford.taylor1957@gmail.com)

**APPEAL**

**IN TERMS OF SECTION 76(1) READ WITH SCHEDULE 10 OF THE MKHAMBATHINI SPATIAL PLANNING AND LAND USE MANAGEMENT BY-LAW**

**AGAINST THE RECORD OF DECISION OF THE APPLICATION LODGED IN TERMS OF CHAPTER 4 READ WITH SCHEDULE 4 OF THE MKHAMBATHINI SPATIAL PLANNING AND LAND USE MANAGEMENT BY-LAWS AND THE MKHAMBATHINI LAND USE SCHEME (LUS): FOR VARIOUS APPROVALS TO ENABLE THE ESTABLISHMENT OF A MEDIUM DENSITY HOUSING SCHEME ON THE REMAINDER OF ERF 10 CAMPERDOWN (THE APPLICATION SITE)**

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This document is emailed and hand delivered to Mkhambathini Municipality at 18 Old Main Road Camperdown and emailed and posted via Registered Mail to Mr. and Mrs. Taylor

Dear Mr. Mngwengwe and Ms. Donaldson

I hope you are both well.

This Appeal is to have certain items in the ROD clarified and made explicit. A report by the owner and Mr. Plunkett was submitted to the Tribunal with the suggested changes. However, the Tribunal recommended an Appeal since their duties were *Functus Officio*.

The Tribunal provided some clarity on the report submitted and said that it could be used as part of the Appeal documentation. The following information itemises the Point 5 conditions of approval.

The original condition of each affected conditions is tabled first and the request in relation to that clause is provided in bold.

**DOCUMENTATION ATTACHED:**

Commentary provided by the Tribunal in response to the letter sent by Simon Plunkett – Record of Decision – Amendments dated 19 April 2023. The response letter suggests that this be attached to the Appeal.

As per point 5 of the ROD The granting of consent and the approval is subject to the following conditions:-

**(5.i)**

The donation to the Mkhambathini Municipality of strip of Road Widening approximately 9 metres wide along the length of the Alfred Storm Street frontage so as to equate with the unregistered Erf 403 (Road) Camperdown. Alternatively, this may be done by a Road Servitude registered in favour of the Municipality.

The owner would like this to be a negotiated settlement rather than an enforced donation. There is an issue of costs for the value of the land transfer. The widening is only required to bring the overall road up to similar standards as commonly found for roads in the area. The neighbour adjacent to this proposed area was permitted to build the boundary wall of the property over the area required for widening. If this neighbour is permitted to retain the wall, then the widening is essentially unnecessary as it impedes the nature of the road. If the neighbour was requested to remove the wall and to provide for the widened area, then he/she would require compensation.

**(5.ii)**

The construction of a minimum 6 metre wide road carriageway along Victoria Street road reserve from the hardened carriageway of Scott Street to the property boundary, including necessary connecting curves. This shall be to the Municipality's Technical Services Engineering Department's specification.

This has been budgeted for by the Municipality for 2023/24 who will also be a beneficiary of the road and the rates levied against the 45 units therein. It is requested that the road be hardened at the conclusion of Phase 1 of the development.

**(5.v)**

Sewage disposal shall be by internal sewer lines connected into the external sewer network, at the developers cost and to the satisfaction of the uMgungundlovu District Municipality: Water and Sanitation Department.

The owner would like it made explicit that the uMgungundlovu District Municipality: Water and Sanitation Department will provide a connection at the lowest corner of the site.

In its letter dated 6 September 2022 – the Mkhambathini Municipality requested whether the District Municipality had capacity in their existing sanitation works as they found it preferable to have water borne sanitation rather than septic tank and soak away.

**(5.vii)**

While provision shall be made to connect into ESKOM's electricity supply to their requirements, the developer is also to make provision in the internal electrical installations with a view to the ultimate installation of solar cells on the roofs of the individual units to supplement the ESKOM supply.  
Duct and Intersection of roads.

Connection to a power source should be at the developers discretion and provision for both should not be required (save for the ducting at road intersections as per point 5.x below). The intent is to have a development entirely off grid which will be made clear to purchasers. This will be installed by the developer to the appropriate specification. Should a purchaser decide to connect to Eskom at some point in the future, they are welcome to do so at the connection point already established at the boundary. The developer should not be obliged to connect to Eskom when it is not intended to utilise this unreliable power source.



**(5.x)**

The engineering aspects of the development, viz. the roads, water, sewage, stormwater, electricity and the telecommunication ducting are to be designed and the design implemented under the supervision and direction of a registered professional engineer. Where appropriate the approval of the Technical Services Engineering Department and/or the uMgungundlovu District Municipality: Water and Sanitation Department are to be obtained for the said designs and their sign off on completion.

**Electricity ducting and Telecommunications ducting must be separate and provided at the road intersections only. The developer does not have to install telecommunication fibre as alternative options are available.**

Yours sincerely

**SIMON PLUNKETT**  
**Pr.Pln A/1983/2014**



Simon Plunkett

19 April 2023

Email: [simon@plunkett.co.za](mailto:simon@plunkett.co.za)

To: Mr. T. Nkosi  
Chairperson Umgungundlovu Joint Municipal Planning Tribunal

CC: Mr. J. Forbes  
Member Umgungundlovu Joint Municipal Planning Tribunal

CO: Ms. Nosipho Biyela  
Registrar Umgungundlovu Joint Municipal Planning Tribunal  
Email: [Nosipho.Biyela@umdm.gov.za](mailto:Nosipho.Biyela@umdm.gov.za)

#### RECORD OF DECISION - AMENDMENTS

APPLICATION LODGED IN TERMS OF CHAPTER 4 READ WITH SCHEDULE 4 OF THE MKHAMBATHINI SPATIAL PLANNING AND LAND USE MANAGEMENT BY-LAWS AND THE MKHAMBATHINI LAND USE SCHEME (LUS): FOR VARIOUS APPROVALS TO ENABLE THE ESTABLISHMENT OF A MEDIUM DENSITY HOUSING SCHEME ON THE REMAINDER OF ERF 10 CAMPERDOWN (THE APPLICATION SITE)

LOCAL MUNICIPALITY REFERENCE: SPLUMA 050/2022 DISTRICT MUNICIPALITY REFERENCE: JMPT REF 11/1/1/188

CONSIDERED BY: THE UMGUNGUNDLOVU JOINT MUNICIPAL PLANNING – 22 MARCH 2023

Dear Mr. Nkosi and Mr. Forbes

Thank you for the positive Record of Decision regarding the proposed 45 Unit Medium Density Housing Development located on Remainder of Erf 10 Camperdown.

In reading the approval, the developer has noted some items which may require amendment in terms of the decision. These have been discussed between myself and the developer to determine a suitable solution.

Each of the affected conditions is itemised as per the ROD. The original condition is tabled first, and a suggested amendment second (underlined). The third is the reasoning for the suggested change (**bold**).

**Simon Plunkett** Pr.Pl n A/1983/2014  
Professional Town and Regional Planner  
Statutory and Development Planning Specialist

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Simon Plunkett

As per point 5 of the ROD The granting of consent and the approval is subject to the following conditions:-

(5.i)

The donation to the Mkhambathini Municipality of strip of Road Widening approximately 9 metres wide along the length of the Alfred Storm Street frontage so as to equate with the unregistered Erf 403 (Road) Camperdown. Alternatively, this may be done by a Road Servitude registered in favour of the Municipality.

The 9m strip of road widening approximately 9 metres wide along the length of the Alfred Storm Street frontage (Northern Street frontage) is to be negotiated by the Mkhambathini Municipality and the owner.

The Municipality have never produced a traffic study proving need and extent of widening and there is unlikely to be any further traffic along this road since the area is largely subscribed to housing. The owner is certainly not trying to withdraw this item, but requiring the approval to be subject to the donation places a barrier to development while the negotiation is underway. Issues of transfer costs and so forth need to be determined. Under normal circumstances, should there be no agreement, this would be expropriated for a market value sum of money. Thus, the municipality is not without a mechanism to acquire the land. In the intervening time, the land will not be incorporated into the development but remain available.

**Commented [U1]:** There is no need to conduct a traffic study. The widening is to bring the overall road up to similar standards as that commonly found for roads in the area. There is no requirement for the road carriageway to be widened.

No change recommended.

**Commented [U2]:** The Municipality could if necessary pay for the associated survey and transfer costs.

(5.ii)

The construction of a minimum 6 metre wide road carriageway along Victoria Street road reserve from the hardened carriageway of Scott Street to the property boundary, including necessary connecting curves. This shall be to the Municipality's Technical Services Engineering Department's specification.

The construction of a minimum 6 metre wide road carriageway along Victoria Street road reserve from the hardened carriageway of Scott Street to the property boundary, including necessary connecting curves. This shall be undertaken by the Municipality's Technical Services Engineering Department.

The Municipality indicated that the road construction is budgeted for in 2023/2024 financial year. Clause 2.6.4. This road serves 4 other properties as well as Rem of Erf 10 Camperdown. The Municipality have repeatedly indicated that the construction is this portion of Victoria Street is their responsibility. If it is the Municipality's responsibility, the project cannot be delayed until this road is upgraded. The project would be better served by leaving it gravelled until the construction of phase 1 is completed.

**Commented [U3]:** In fact the existing stub road only serves two houses and the Water Reservoir site. The one house (the fourth) presently takes direct access from Scott Road (being on the corner) and the other corner house could if necessary do the same. The proposed development on the other hand will require access to a multitude of units – 45 units, i.e. the developer is the prime beneficiary of the proposed hardened road (>90%). The road could otherwise be left as is.

The road may be left as gravel in the interim, but must be complete prior to the first transfer of any sectional units, i.e. at occupation certificate stage.

No change recommended.

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Simon Plunkett

(5.iii)

The provision of external parking for waiting delivery vehicles and/or visitor's vehicles in the (wide) Victoria Street road reserve road. This provision would normally be located within the application site via a significant setback from the boundary to accommodate two or three vehicle lengths.

The provision of external parking for waiting delivery vehicles and/or visitor's vehicles in the (wide) Victoria Street road reserve road. This provision should be located within the application site via a significant setback from the boundary to accommodate two or three vehicle lengths. Final design and drawings will be approved by the Municipal Technical Manager

**The Developer needs to be permitted to reconsider and reconfigure this situation during final design.**

**Commented [U4]:** In principle there is no objection, provided that adequate provision is made within the application site. A revised SDP is required to demonstrate the alternative.

(5.v)

Sewage disposal shall be by internal sewer lines connected into the external sewer network, at the developers cost and to the satisfaction of the uMgungundlovu District Municipality: Water and Sanitation Department.

Sewage disposal shall be by internal sewer lines connected into the external sewer network. Internal works and connection fee to the external line are for the Developer. The uMgungundlovu District Municipality: Water and Sanitation Department shall provide a connection at the lowest corner of the site. failing which the development will revert back to septic tank and soak away.

**Commented [U5]:** No objection subject to septic tank and soakpit option being omitted.

This late change to the sewerage disposal was only communicated in the JMPT documents and at the Tribunal Hearing.

Had this been made known at the preliminary stages of the development the developer would have changed the layout to contain 65 units as per permitted at 12/Ha. The 45 unit density was specifically set to allow for evapotranspiration below the septic tank and soak pit which was accepted by the District Municipality.

**Commented [U6]:** If the developer wishes to retract the SDP, in theory he is at liberty to do so. However, a traffic survey should accompany any new SDP with 65 units and it should address the internal set back of the entrance from the boundary, as he has advocated in the text.

In addition to this, the development promoted a number of water saving methods to reduce the quantity of water required. This was also agreed to and played part of the reduction in the number of units. The new correspondence from the District Municipality has now permitted 75kl water per day. Therefore, while it is good to be connected to the sewer main, should this not be made good for any reason, the septic tank and soak away option must be still available in order not to preclude the development.

However, in terms of clause 6.8.5.7.(a) the potential is reduced to 4 units!!

No change recommended.



Simon Plunkett

(5.vii)

While provision shall be made to connect into ESKOM's electricity supply to their requirements, the developer is also to make provision in the internal electrical installations with a view to the ultimate installation of solar cells on the roofs of the individual units to supplement the ESKOM supply.

The electrical supply shall be either by Eskom's electricity supply or by "off the grid" solar cells, inverter, and batteries or other form of acceptable alternative power source.

**The developer shouldn't be held to account for provision of both types of service. Eskom have already indicated that their supply is available to the boundary of the property. The development is intended to opt for the "green energy" route of supply and will show that adequate supply required by households is available.**

(5.x)

The engineering aspects of the development, viz. the roads, water, sewage, stormwater, electricity and the telecommunication ducting are to be designed and the design implemented under the supervision and direction of a registered professional engineer. Where appropriate the approval of the Technical Services Engineering Department and/or the uMgungundlovu District Municipality: Water and Sanitation Department are to be obtained for the said designs and their sign off on completion.

The engineering aspects of the development, viz. the roads, water, sewage, and stormwater are to be designed and the design implemented under the supervision and direction of a registered professional engineer. Where appropriate the approval of the Technical Services Engineering Department and/or the uMgungundlovu District Municipality: Water and Sanitation Department are to be obtained for the said designs and their sign off on completion.

- Electricity and telecommunication ducting are internal development issues.
- Electricity will be unit specific.
- **Telecommunication is presently supplied by microwave.**
- **Should the development require any upgrades to fibre or some other means this should be the resident's decision.**

Please call or email if you have any queries.

Yours sincerely

SIMON PLUNKETT  
Pr.Pl n A/1983/2014

Simon Plunkett Pr.Pl n A/1983/2014  
Professional Town and Regional Planner  
Statutory and Development Planning Specialist

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**Commented [U7]:** There is no intention to force both types of electrical services. The intention is that in the design of the units, any owner who so wishes to go off the grid, may do so with the minimum of physical disruption to his unit.

In other words the design of the unit and the installed ducting should allow for an easy conversion in the future. The site of the inverter and batteries and the expanded distribution board should be predetermined in the unit designs.

No change recommended.

**Commented [U8]:** The intention is to preinstall ducting in and under the roads for telecommunications and/or fibre. If done at the outset this will avoid later disruption to the roads and avoid dispute over who the ducting belongs to, and so who may use the ducting, belongs to the BC who may authorise the use thereof.

No change recommended.

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## RECORD OF DECISION

**APPLICATION LODGED IN TERMS OF CHAPTER 4 READ WITH SCHEDULE 4 OF THE MKHAMBATHINI SPATIAL PLANNING AND LAND USE MANAGEMENT BY-LAWS AND THE MKHAMBATHINI LAND USE SCHEME (LUS): FOR VARIOUS APPROVALS TO ENABLE THE ESTABLISHMENT OF A MEDIUM DENSITY HOUSING SCHEME ON THE REMAINDER OF ERF 10 CAMPERDOWN (THE APPLICATION SITE)**

**LOCAL MUNICIPALITY REFERENCE: SPLUMA 050/2022**

**DISTRICT MUNICIPALITY REFERENCE: JMPT REF 11/1/1/188**

**CONSIDERED BY: THE UMGUNGUNDLOVU JOINT MUNICIPAL PLANNING TRIBUNAL (THE TRIBUNAL)**

During the virtual meeting held on 22 March 2023.

**PRESENT:**

**Tribunal Panel:**

Mr. Thulani Nkosi (Chairperson)

Mr. John Forbes

Ms. Gugu (Sithole) Ngobese

Ms. Mandisa Khomo (Umgungundlovu District Municipality)

**Officials:**

Ms Nosipho Biyela Registrar UMDM JMPT)

Mr Zinhle Mbonambi Mkhambathtini Local Municipality ("The Municipality")

Ms Elaine Donaldson Mkhambathtini Local Municipality

Mr Jan van der Vegte Chief Town Planner, Shared Services, Umgungundlovu District Municipality

**For the Applicant:**

Mr Simon Plunkett for Amber Productions 1 cc

Neville Tyler – OBO Amber Productions 1 cc

**Objector:**

Mr C and Mrs Taylor did not attend and no apologies were received.

**DATE OF DECISION: 22 March 2023**

## 1. DETAILS OF THE APPLICATION

- 1.1. The application was submitted by Mr Simon Plunkett, Statutory and Development Town Planner, on behalf of OBO Amber Productions 1 (the registered landowner and the applicant).
- 1.2. The application to the Municipality as stated in the supporting memorandum is in order to:
  - i. Obtain Consent to permit Medium Density Housing on the Remainder of Erf 10 Camperdown.
  - ii. Permit Outbuildings being a Security Gatehouse, Workshop and Bin Area and permit these in advance of the Building Line, viz. on a Nil Building Line.
  - iii. Rezone the Internal Roads of the development from "Road" to "Residential Only Detached 1300m<sup>2</sup>".
  - iv. Road Closure of the Internal Roads located within Remainder of Erf 10 Camperdown
  - v. Withdrawal and Cancellation of General Plan SG No 1746/2007 (Erven 372-405 Camperdown) and SG Diagram No 2124/1988 (Portion 21 of Erf 10 Camperdown).
  - vi. Donation of the Road Widening Area along Alfred Storm Street to the Mkhambathini Municipality of approximately 9.00m wide with an area of 1670 m<sup>2</sup> (unregistered Erf 403 Camperdown).
  - vii. Phasing of the Development over 4 Phases as per the Site Development Plan prepared by C.Y.Baily – Designs Inc. Drawing No. 21/10/02 Rev A Dated September 2021.
- 1.3. The Remainder of Erf 10 Camperdown (the "application site") is situated within the heart of the village of Camperdown to the north of N3/Camperdown interchange.
- 1.4. The application site, in terms of SG 991/1947, is 54 545 m<sup>2</sup> in extent. This includes the road widening to Alfred Storm Street, viz. the unregistered Erf 403 Camperdown, of 1670 m<sup>2</sup>, which after deduction reduces the nett site area to 52 875 m<sup>2</sup>.
- 1.5. The application site is bounded by Alfred Storm Street in the north and by residential detached residential properties to the east, south and west, other than for a water tower on Portion 1 of 10. Robertson Road extension and Victoria Street extension both feed into the application from the west and east respectively. Neither sections of road are however made up; Victoria Street operates as a dirt road from Scott Street serving a residential property and the water tower. Eagles Ayre Estate, a residential development, lies immediately over Alfred Storm Street. See Figure 2.

- 1.6. In terms Mkhambathini Land Use Scheme (the “scheme”) the application site is zoned as Residential Only Detached 1300 m<sup>2</sup> zone and Road. The latter road portions are identified in Figure 1 as Erven 403, 404 and 405 Camperdown.
- 1.7. It is proposed to rezone the unregistered Erven 404 and 405 to Residential Only Detached 1300 m<sup>2</sup> after withdrawing the approved survey diagrams and also entailing the cancellation of these unregistered roads.
- 1.8. Residential Only Detached 1300 m<sup>2</sup> zone template provides for the development of the Medium Density Housing by Consent at a maximum density of 12 units per hectare. At this density 63 units could theoretically be achieved on a 5.4545 hectare site.



Figure 1 – Showing the Application Site, the Remainder of Erf 10 Camperdown, outlined in red.



Figure 2 - Showing Application Site in its local context.



Figure 3 - Layout plan showing proposed units on curtilages – access from Victoria Street at bottom of figure.

- 1.9. A Site Development Plan has been prepared by CY Bailey Designs Incorporated on Plan No 21/10/02 Rev A. Dated September 2021 for the overall property. Succinctly this proposes a Medium Density Housing development comprised of 45 residential subdivisions/curtilages with units thereon, open space and private roads.
- 1.10. The development, as proposed, will include a gatehouse located on a Nil building line to Victoria Road where the entrance to the complex will be sited, requiring a building line relaxation. N.B. No access to or from Robertson Road is proposed.
- 1.11. It should be noted that there is a conflict in the scheme under the "Additional Controls for Medium Density Housing" in that in a "Residential Only Detached" zone in terms of clause 6.8.5.7.(a)
- "The maximum number of dwelling units which may be established for Medium Density Housing shall be obtained by dividing the registered surveyed area of the property concerned by the appropriate minimum lot area per dwelling".*
- 1.12. This more onerous scheme requirement, if applied, reduces the potential maximum to 42 units (41 units based on the nett site).
- 1.13. The development was originally to be served by septic tanks and soakpits, but the Municipality has since confirmed that it is able to connect the development into its water bourn sewage system leading to the Camperdown Waste Water Treatment Works.
- 2. PUBLIC PARTICIPATION PROCESS AND OTHER APPROVALS OR COMMENTS**
- 2.1. The notice of the application was advertised in The Witness on 28 October 2022, the closing date for objections being 30 November 2022.
- 2.2. The notices were displayed at the entrance of the property off Victoria Street/Scott Street and Alfred Storm Street and at the local Spar Supermarket and Post Office.
- 2.3. A copy of the full submission was available in the reception area of the municipality for inspection.
- 2.4. The relevant departments, neighbours and the ward councillor were notified.

- 2.5. There was 1 objection received from a neighbour living near the low point of the application site. This objection related primarily to sewage and stormwater concerns and raised competency issues of the consultant.
- 2.6. The departmental comments are summarised as follows:

No.	Department/Organisation	Comment
1.	ESKOM	Response dated 12 May 2022 & 28 October 2022 No objection. Ref No. ER_INV_384/2022. B3 Certificate issued confirming availability within normal connection distance.
2.	KZN Department of Transport	Response dated 15 August 2022 No objection. Ref No. T10/2/2/242/104
3.	uMgungundlovu District Municipality: Water and Sanitation	Response dated 26 July 2022 <ul style="list-style-type: none"> <li>• Water - May connect to water network and supply up to 23.5 kilolitres per day. Bulk meter to be installed.</li> <li>• Sanitation – No objection to septic tanks and soakpits.</li> </ul> Response superseded on 26 January 2023 <ul style="list-style-type: none"> <li>• Water - May connect to water network and supply up to 75 kilolitres per day.</li> <li>• Sanitation – Camperdown Waste Water Treatment Works may accept up to 37 kilolitres a day therefore on-site disposal NOT supported.</li> </ul>
4.	Technical Services: Engineering	<ul style="list-style-type: none"> <li>• Concerns with the stormwater attenuation ponds as proposed. Stormwater be diverted into the stormwater drainage system in Alfred Storm Drive via road servitude.</li> <li>• Construction of Victoria Street budgeted for in the 2023/24 financial year.</li> </ul>

### 3. DISCUSSION

- 3.1. At a tribunal meeting held on 22 March 2023 following issues were raised and discussed:
- The change from on-site waste water disposal and to water borne sewage.
  - The requirement of the diversion of stormwater to the road rather than attenuation ponds and bearing in mind the concerns of the objector.
  - A conflict in the scheme with respect to the number of units permitted. See 1.11 and 1.12 above.

- 3.2. The applicant indicated that they were perfectly happy to switch to a water borne waste water system, which was viewed as a preferable solution.
- 3.3. The request from Technical Services was viewed as confusing as a Stormwater Management Plan is a necessary requirement of approval to ensure the post development stormwater does not exceed the pre-development flow. For this to occur, attenuation of stormwater is required. The applicant pointed out that the registered engineer involved, Jan Cronje Pr.Techni (Civil), PrCPM of Umsunguli Project Management, was competent and well thought of in the profession<sup>1</sup>, therefore there should not be any concerns raised. In any event the conditions will require a Stormwater Management Plan to the approval of the Municipality.
- 3.4. The planning officials of the Municipality were not aware of any conflict in the scheme with respect to the maximum density allowed and stated that they had advised the applicant on the basis of the zone template, viz. a maximum of 12 units per hectare. This conflict was subsequently, post the hearing, pointed out to them whereby within a Residential Only Detached zone, density was limited to multiples of the minimum site area.
- 3.5. This inconsistency needs to be addressed in the next revision of the Mkhambathini Land Use Scheme.

#### **4. DECISION**

In terms of Chapter 4 read with Schedule 4 of the By-Law, the Tribunal hereby:

- i. Grants Consent for a Medium Density Housing development on the Remainder of Erf 10 Camperdown broadly as shown on the Site Development Plan No. 21/10/02 Rev "A" dated September 2021, as prepared by C.Y.Baily of Designs Incorporated. Minor amendment may be agreed with the Municipality.
- ii. Approves the Relaxation of the Building Line to Victoria Street to Nil in order to accommodate a security gate, workshop and bin area for the residential complex.
- iii. Approves the Rezoning of Erven 404 and 405 Camperdown (Roads), as reflected on General Plan SG No 1746/2007, from "Road" to "Residential Only Detached 1300m<sup>2</sup>".

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<sup>1</sup> Umsunguli Project Management has received a number of awards.

- iv. Approves the Closure of the Erven 404 and 405 (Roads) Camperdown as reflected on General Plan SG No 1746/2007. These are presently not registered as roads in the Deeds Office.
  - v. Approves the Withdrawal and Cancellation of General Plan SG No 1746/2007 (Erven 372-405 Camperdown) and SG Diagram No 2124/1988 (Portion 21 of Erf 10 Camperdown).
  - vi. Approves the Phasing of the Development over 4 Phases as indicated on the Site Development Plan prepared by C.Y.Baily – Designs Inc. Drawing No. 21/10/02 Rev A Dated September 2021. The phasing may be varied in consultation with the Municipality.
5. The granting of consent and the approval is subject to the following conditions:-
- i. The donation to the Mkhambathini Municipality of strip of Road Widening approximately 9 metres wide along the length of the Alfred Storm Street frontage so as to equate with the unregistered Erf 403 (Road) Camperdown. Alternatively, this may be done by a Road Servitude registered in favour of the Municipality.
  - ii. The construction of a minimum 6 metre wide road carriageway along Victoria Street road reserve from the hardened carriageway of Scott Street to the property boundary, including necessary connecting curves. This shall be to the Municipality's Technical Services Engineering Department's specification.
  - iii. The provision of external parking for waiting delivery vehicles and/or visitor's vehicles in the (wide) Victoria Street road reserve road. This provision would normally be located within the application site via a significant setback from the boundary to accommodate two or three vehicle lengths.
  - iv. A detailed Stormwater Management Plan is to be prepared to the satisfaction of the Municipality's Technical Services Engineering Department.
  - v. Sewage disposal shall be by internal sewer lines connected into the external sewer network, at the developers cost and to the satisfaction of the uMgungundlovu District Municipality: Water and Sanitation Department.
  - vi. A water supply is to be provided connecting into the Municipality's water network at the developer's cost and to the satisfaction of the uMgungundlovu District Municipality: Water and Sanitation Department.
  - vii. While provision shall be made to connect into ESKOM's electricity supply to their requirements, the developer is also to make provision in the internal electrical installations with a view to the ultimate installation of solar cells on the roofs of the individual units to supplement the ESKOM supply.

- viii. A waste disposal plan is to be prepared to the satisfaction of the Municipality. This is to make provision for the separation and recycling of the various types of recyclable waste.
- ix. The complex shall have separate ingresses for residents and visitors in order to avoid anticipated congestion at the gate. One access at least should be able to accommodate furniture removal vehicles.
- x. The engineering aspects of the development, viz. the roads, water, sewage, stormwater, electricity and the telecommunication ducting are to be designed and the design implemented under the supervision and direction of a registered professional engineer. Where appropriate the approval of the Technical Services Engineering Department and/or the uMgungundlovu District Municipality: Water and Sanitation Department are to be obtained for the said designs and their sign off on completion.
- xi. Copies of the plans showing the as-built services reticulation are to be filed with the Municipality and a copy reserved for the Body Corporate-to-be-formed.
- xii. The development is to have a specific unifying theme for which ideally architectural guidelines should be prepared in the event that the future owners will have a choice in the final design of the individual units.
- xiii. The owner shall provide a written acceptance of the conditions of approval.

## **6. REASONS FOR THE DECISION**

The reasons for the decision are as follows:

- 5.1. The proposal is not inconsistent with the Mkhambathini Municipality's Integrated Spatial Development Framework.
- 5.2. Medium Density Housing is a development foreseen within a Residential Only Detached 1300m<sup>2</sup> zone, and where in some circumstances, where no objections from consulted neighbours, may not even need to be advertised.
- 5.3. There has been an inconsistency written into the Mkhambathini Land Use Scheme which has not been of the applicant's making. Further, the applicant was encouraged by officials to proceed on the basis of 12 units per hectare as per the Residential Only Detached 1300m<sup>2</sup> zone template. The applicant's proposals as reflected on the Site Development Plan, at 45 units, are only marginally in excess of that otherwise permitted in terms of the more onerous provision for Residential Only Detached zones.

- 5.4. The proposal as anticipated will create both temporary employment opportunities during construction and later on following completion and therefore contribute positively to the socio-economic environment.
- 5.5. The proposed activities are unlikely to have any deleterious impact on the amenities of the areas. The traffic generation for 45 residential units does not trigger the need for a traffic impact assessment.
- 5.6. The need for an environmental authorisation was not deemed necessary as the vegetation on the property is disturbed, it contains little of biodiversity value, it is not near a water course and it is less than 20 hectares in extent falling within an established urban area.
- 5.7. While one objection was recorded against the development application in respect of the proposed sewage disposal and stormwater, the former aspect has been addressed by way of the requirement to connect into the external sewer network while the latter aspect will be addressed by a Stormwater Management Plan to the satisfaction of the Technical Services Engineering Department. The other concern raised by the objector with respect to the competency of the consulting engineer has not been substantiated by the objector and is accordingly dismissed.
- 5.8. Alfred Storm Street is a Class 5 loop road that links back to Scott Street and is presently confined where it runs east to west past Eagles Ayre Estate to a half road width. The unregistered Erf 403 (Rd) Camperdown running along the northern edge of the application site formed the majority of the other half of the road, albeit unconstructed. While there will still remain a narrow section of Alfred Storm Street at its intersection with Scott Street immediately opposite Erf 19 Camperdown, this is preferable to having the entire northern section of this road confined.

## **7. OTHER LEGISLATIVE REQUIREMENTS**

This approval does not absolve the applicant from complying with any other legislative requirement.

## **8. APPEAL**

As provided for in terms of Section 57 read with Schedule 10 of the By-Law, a person whose rights are affected by a decision taken by the Tribunal may appeal against that decision by

serving a memorandum of appeal in conformity with Item 1 of Schedule 10 of the By-Law on the Registrar and the Municipal Manager within 21 days of the date of notification of this decision. This includes the Municipal Planning Appeal Authority Registrar; the Municipal Manager and the applicant or all the persons who responded in writing to an invitation to comment on the application for municipal planning approval. Ideally, an appellant must also submit a copy of the memorandum of appeal by electronic mail to the Municipal Planning Appeal Authority Registrar.

An appeal may be lodged as follows: -

Mkhambathini Municipal Planning Appeal Authority Registrar Attention: Ms. Elaine Donaldson Tel: 031-785-9300 elaine.donaldson@mkhambathini.gov.za	
<b>By Hand:</b> Mkhambathini Municipal Office 18 Old Main Road Camperdown 3720	<b>By Post:</b> Private Bag X04 Camperdown 3720

NOTE: Should the Municipality not be notified within 21 days of receipt of this notification of any action in terms of Section 57 of the Mkhambathini Municipality Spatial Planning and Land Use Management By-laws, then this approval shall be deemed to have come into force and effect.

FOR THE UMGUNGUNDLOVU JOINT MUNICIPAL PLANNING TRIBUNAL



Mr Thulani Nkosi

Chairperson



John A Forbes Pr.Pln. Reg. No. A/457/1986

TRIBUNAL MEMBER

# REPORT TO THE MUNICIPAL PLANNING APPROVAL AUTHORITY

## APPLICATION IN TERMS OF CHAPTER 4 AND SCHEDULE 4 OF THE MKHAMBATHINI SPATIAL PLANNING AND LAND USE MANAGEMENT BY-LAWS, 2016 AND THE MKHAMBATHINI LAND USE SCHEME FOR VARIOUS APPROVALS TO ENABLE THE ESTABLISHMENT OF A MEDIUM DENSITY HOUSING SCHEME ON THE REMAINDER OF ERF 10 CAMPERDOWN (THE APPLICATION SITE).

DATE: 17 February, 2023.

REFERENCE: SPLUMA 050/2022.

### 1. PURPOSE

To provide my assessment and recommendation as a registered professional planner in terms of Part 18 of Schedule 4 of the Mkhambathini Spatial Planning and Land Use Management By-Laws regarding the above-mentioned proposal.

### 2. THE APPLICATION

2.1 The purpose of this combined application is to enable the establishment of a Medium Density Housing (MDH) development on the Application Site. Accordingly, application was made for the following:

- Consent to permit MDH.
- Permit outbuildings to be constructed in front of the Building Line.
- Closure of the current internal roads and rezoning from "Road" to "Residential Only Detached 1300 m<sup>2</sup>" (ROD 1300 m<sup>2</sup>).
- Withdrawal and cancellation of General Plan SG No. 1746/2007 and SG Diagram No. 2124/1988.

The proposed development consists of 45 single storey units, a Security Gate House, Workshop and Bin Area, and is proposed to be undertaken in four phases. Although the consent component of the application can be decided by the Municipal Planning Authorised Officer (MPAO), the proposed rezoning and the road closure is the responsibility of the JMPT, and in terms of Section 22(2) of the By-Laws the Tribunal must therefore decide the whole application.

2.2 It is noted that in terms of Municipal Planning Circular 1 of 2021, the power to cancel a General Plan lies with the Council, it having been delegated by the Premier of KZN in terms of the Land Survey Act No. 8 of 1997 to all Municipalities responsible for administering applications for the subdivision and consolidation of land and township establishment. A copy of the Circular is attached. It is suggested that the Council acts on a recommendation from the Tribunal in this regard.

2.3 When the Application was submitted, it included an offer to donate the 9 meter wide road widening along Alfred Storm Street with a total extent of 1 670 m<sup>2</sup> to the Municipality, but this was subsequently withdrawn.

2.4 Essentially, the effect of the proposal will be to erase the current layout and replace it with a blanket zoning of "Residential Only Detached 1300 m<sup>2</sup>" as a first step towards the approval of the layout for the proposed MDH development.

2.3 Other relevant information about the Applicant, the Application Site and the public participation process are contained in the Planning Registrar's report and the Applicant's very comprehensive motivation, and are therefore not repeated here.

### **3. ASSESSMENT**

3.1 Schedule 8 of the By-Laws lists the matters that must be considered by the Tribunal when it decides on an application. The extent to which any of these matters are relevant to a proposal would be determined by factors such as the scale and magnitude of the proposed development, the location of the application site and its relationship to surrounding land uses, as well as public opinion. Accordingly, the following paragraphs contain an assessment of the application in relation to the relevant matters contained in Schedule 8, to the extent that they are applicable.

#### **3.2 The potential impact of the application on the environment, socio-economic conditions, and cultural heritage**

**\* Environmental Impact**

The Application Site is vacant and in a somewhat overgrown and neglected state. It contains no features of environmental significance and, according to the Applicant, the proposed development does not trigger the need for an environmental authorisation in terms of NEMA.

**\* Socio-economic impact**

The proposed development will have a positive socio-economic impact by making available additional housing units in a central and accessible location, and through the generation of temporary and permanent employment opportunities, both during the construction and post-construction phases of the development.

**\* Cultural heritage**

No impact.

#### **3.3 Potential impact on proposed developments or land uses in the vicinity, or on existing developmental or mineral rights**

3.3.1 The Application Site is almost 5,5 Hectares in extent and lies within an established residential neighbourhood at the intersection of Victoria Street and Scott Street. It is bounded on three sides by land also zoned ROD 1300 m<sup>2</sup>, and existing development in the surrounding area is mainly of a residential nature in the form of free-standing dwellings and a MDH complex. Other development includes a primary school and an administrative building.

3.3.2 It must be noted that the permitted density for a MDH development in this zone is 12 units per hectare which in the case of the Application Site equates to 65 units, although only 45 units are proposed. If the Application Site were to be subdivided, it would yield about 35 lots. In principle, the proposal is therefore compatible with existing and proposed land uses in the vicinity.

### **3.4 The principle of efficiency - The provision and standard of engineering services**

3.4.1 The application is *inter alia* supported by the following Specialist Reports:

- **A Geo-technical Report**, updated in February 2022, which confirms general soil stability and which concludes that the soils are suitable for an on-site sanitation system in the form of septic tanks and French drains. The UMDM initially agreed to this, but in a subsequent letter dated 26 January 2023 it states that the Camperdown Waste Water Treatment Works can accommodate the sewage effluent from the proposed development, and that an on-site sanitation system is no longer supported.
- **A Storm Water Management Plan** compiled by Umsunguli Project Management dated 7 March 2022, which recommends storm water dispersal by means of attenuation ponds. It is noted that the Municipality's Technical Department prefers diverting the storm water onto the road servitudes.
- **An Engineering Report** dated 26 September 2022 prepared by Umsunguli Project Management which provides an assessment of the availability of and access to bulk infrastructure services for the proposed development. The Report makes recommendations regarding access, sewage disposal, water supply and storm water management.

3.4.2 In a letter dated 12 May 2022 Eskom confirms possible connection to the system but cannot guarantee supply. The UMDM, in a letter dated 26 July, confirms that the proposed development can connect to the municipal water reticulation network and that there is sufficient capacity to accommodate the proposed development.

### **3.5 The impact of the application on the national, provincial and municipal road network, public transport, municipal services, sewer, water and electricity supply, waste management and removal, policing and security**

A **Traffic Impact Statement** dated 2 March 2021 was compiled by Umsunguli Project Management. As the trip generation is below the threshold of 50 vehicles per hour a Traffic Impact Assessment is not required. The report concludes that there is no need for further road improvements.

The Municipality will undertake refuse collection once a week from a central collection point inside the Estate. Other services are covered under paragraph 3.4. above.

### **3.6 The principle of spatial justice - historical effects of past racially discriminatory and segregatory legislation on land ownership, land development and access to engineering services and public facilities, and the need to address historical imbalances**

More residential opportunities will be made available to middle- and upper-income earners in a central location, and in relative proximity to schools, places of work and retail facilities.

**3.7 The principle of spatial sustainability - The protection or preservation of cultural and natural resources, including agricultural resources, unique areas or features and biodiversity**

The proposed development will lead to a more efficient use of existing infrastructure and will have no adverse effect on agricultural resources or biodiversity.

**3.8 The Municipality's Integrated Development Plan & Spatial Development Framework.**

The Applicant's motivation includes a detailed assessment of the proposed development in relation to the Municipality's SDF. It concludes that the proposal conforms to the planning and development objectives contained in the SDF, especially the following:

- To focus development in strategic nodal points.
- Achieve more compact development and infill.
- Make optimal use of existing services and infrastructure.
- Facilitate residential densification in appropriate locations.

The proposal is therefore not in conflict with the municipality's IDP and SDF.


**3.9 The Municipality's Planning Scheme**

The Application Site's current zoning permits, by Consent, the development of MDH. The Layout Plan complies with the minimum requirements for a MDH development as contained in the Mkhambathini LUS Clauses, such as the provision of private open areas, usable common areas, utility areas and internal road widths.

**4. Recommendation and Reasons**

It is recommended that the application be approved, subject to appropriate conditions based on the recommendations contained in the Specialist Reports. The reasons for the recommendation are:

- The proposal complies in all respects with the relevant objectives contained in the municipality's IDP and SDF.
- The proposal does not involve a change in land use and is unlikely to have any negative impact on surrounding development.
- Services are available.
- The Service Authorities support the proposal.

  
**Chief Planner: Development Planning Shared Services**  
**JH van Der Vegte (SACPLAN A/587/1988)**

# REPORT TO THE MUNICIPAL PLANNING APPROVAL AUTHORITY

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APPLICATION LODGED IN TERMS OF CHAPTER 4 AND SCHEDULE 4 OF THE MKHAMBATHINI SPATIAL PLANNING AND LAND USE MANAGEMENT BY-LAWS AND THE MKHAMBATHINI LAND USE SCHEME (2020), FOR REZONING, CONSENT AND RELAXATION FOR THE ESTABLISHMENT OF FORTY-FIVE (45) MEDIUM DENSITY HOUSING UNITS ON THE REMAINDER OF ERF 10 CAMPERDOWN.

DATE : 3 February 2023.  
REFERENCE : SPLUMA 050/2022

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## 1. PURPOSE

To submit an application lodged in terms of Section 41 Clause 7(3) of the Spatial Planning and Land Use Management Act, 2013 (Act No.16 of 2013) and the Municipal SPLUMA By-Laws - Schedule 4 – and the Mkhambathini Land Use Scheme for;

- Withdrawal and cancellation of the General Plan (SG No. 1746/2007) and SG Diagram No. 2124/1988; and
- Consent to 45 permit Medium Density Housing units.
- Relaxation of the front building line from 7.5m to 0m to permit a security gatehouse, workshop, and bin area.
- Rezone the internal roads from 'Roads' to 'Residential Only Detached 1300m<sup>2</sup>.'
- Phasing of Development over 4 phases as per the diagram by C.Y. Baily – Designs Inc. Drawing No. 21/10/02 Rev A dated September 2021 on the Remainder of Erf 10 Camperdown.

The purpose for this application is to permit forty-five medium density housing units in 5 architectural styles which range from 80 m<sup>2</sup> to 145 m<sup>2</sup> in size.

## 2. ANNEXURES

- 2.1 Annexure A : The applicant's motivation and site plan.
- 2.2 Annexure B : Proof of advertisement and circulation.
- 2.3 Annexure C : Comments received from government entities.
- 2.4 Annexure D : Objection received from neighbouring property owner
- 2.5 Annexure E : Response from the applicants consultants with regards to the comment received.

### 3. LEGISLATIVE PROVISIONS

In terms of the adopted SPLUMA by-laws, and in terms of the categorisation of applications as set out in Schedule 2 of these By-laws, this is an application which must be decided by the Joint Municipal Planning Tribunal. (Schedule 2 Clause 3(a))

### 4. BACKGROUND

The application was submitted by Simon Plunkett on behalf of Amber Productions 1 CC CK2007/043395/23 the registered owner of the Remainder of Erf 10, Camperdown. The proposed application is for a gated estate with 45 housing units on sectional title areas ranging between 600m<sup>2</sup> to 1400m<sup>2</sup>. The site is currently vacant which is envisioned for residential purposes. The applicant wishes to develop this property for medium density residential units. Initially when the application was submitted, the property owner wished to donate a portion of the land approximately 9.00m wide with an area of 1670.00m along Alfred Storm Street to Mkhambathini Municipality for road widening, however, this donation was later withdrawn.

The property is zoned Residential Only Detached 1300 m<sup>2</sup> and Medium Density housing unit is a Consent Use. The property measures 54 545.00 m<sup>2</sup> in extent and the minimum Erf size for Medium Density Housing is 2000.00 m<sup>2</sup>. The proposal is to establish 45 medium density housing units of varying sizes which will be developed in a four phased approach in accordance the diagram by C.Y. Baily – Diagrams Inc. Drawing No. 21/ 10/ 02 Rev A dated September 2021 (see annexure A).

The properties shown in SG Plan No. 1746/ 2007 and SG Diagram 2124/ 1988 which are zoned into the scheme were part of an old application for 31 individual freehold subdivisions approved in terms of the KZN Town Planning Ordinance No. 27 of 1949 by the then Private Township Board. These were not in the Deeds as the potential sites were never serviced. These will be withdrawn and cancelled by a professional land surveyor. Therefore, all internal roads indicated on the General Plan and zoned in the Land Use Scheme will be rezoned to Residential Only 1300m<sup>2</sup>. SG Diagram 991/ 1947 will become the applicable diagram. The applicant has also applied for a relaxation of the front building line in Victoria from 7.5 m to 0 m to accommodate the security gate, bin area and a workshop at the entrance to the estate.

The proposed development is proposed to be serviced on a septic tank system, however a letter dated 26 January 2023 which was received from the uMgungundlovu District Municipality indicates that the Camperdown WWTW can accommodate the estimated 37 kl per day sewer effluent and therefore, on-site sanitation for this development is not supported.

The land use surrounding the application site is residential with a host of upmarket residential homes along Alfred Storm Street and Scott Street as well as the Eagles Ayre gated estate.

### **Access**

The subject property is located within an established residential neighbourhood and is accessed off the R103 into Scott Street, then Victoria Street.

### **Land-Use Zonings**

The remainder of Erf 10 Camperdown is zoned Residential Only Detached 1300 m<sup>2</sup> and Roads in accordance with the Mkhambathini Land Use Scheme, 2020 within which zone Medium Density Housing is a Consent use. The Land-Use zoning surrounding the application site is Residential Only Detached 1300 m<sup>2</sup>, Residential Only Medium Density, Utilities and Services, Education and Administration

## **5. SUMMARY OF APPLICANT'S MOTIVATION:**

- 5.1 The subject property measures 54 545.00 m<sup>2</sup> in extent.
- 5.2 The applicant has applied for Consent to permit medium density housing units and Consent to relax the side building line from 7.5m to 0m to permit a security gate, bin area and a workshop; and to Rezone the Roads from Roads to Residential Only Detached 1300m<sup>2</sup>. The roads shown on the Current Zone Map and the General Plan and SG Diagrams (which are to be withdrawn) were instituted under a previous development when subdivisions were proposed. This development never progressed. With the withdrawal of the SG Diagrams 1746/2007 and 2124/1988, the roads will fall away and be replaced by an internal private road system. Therefore, the application site will retain its Residential Only Detached 1300m<sup>2</sup> zone with Consent to permit 45 Residential Units, a security gate house, workshop, and bin area.
- 5.3 The development is proposed in a four phased approach in accordance with the plan by C.Y. Baily-Designs Inc. Drawing No. 21/10/02 Rev A Dated September 2021, Appendix 7B. There are 5 styles of units proposed which are seen in the site development plan, these units range from 80 m<sup>2</sup> to 145 m<sup>2</sup> in size.

- 5.4 The proposed development will be managed by a Body Corporate and the subsequent property owners of the units will be bound by the rules, regulations, and requirements of the Body Corporate.
- 5.5 The development proposes on-site sanitation using Septic Tanks and French Drains (soakaways) which will be managed by each homeowner and the body corporate.
- 5.6 The proposed development has an estimated water demand of 47 000l/d and the uMgungundlovu District Municipality has approved the adequacy of supply of water for the development with an approximate consumption of 23 500l/d.

The development proposes an internal storm water management strategy. Storm water will be managed by collecting all surface runoff in a conventional storm water system strategically positioned attenuation ponds that will discharge into the natural drainage systems onsite and gravitate towards the drainage line bisecting the site. Each home will comprise of a grass drain so that the stormwater can drain into catchpits along the stormwater pipes and into the attenuation ponds. All roof water will feed from the gutters into 2500l storage tanks placed at the end of each house (see annexure A, Engineering Report).

## 6. COMPLIANCE WITH SCHEDULE 4, ITEM 13, OF THE BY-LAWS

### 6.1 ASSESSMENT

No.	Document	Complete
1.	The application form	Yes
1a	Written Motivation	Yes
1b	Nature of the proposed development	Yes
1c	Present land use of site	Yes
1d	Accessibility to the site	Yes
1e	Area of the proposed development	Yes
1f	Service agreement (water, sewage disposal, electricity)	Pending
1g	The impact of the development on surrounding properties	Yes
2.	Certified copy of title deed	Yes-not certified
3.	Written consent of the registered owner/Executor	Yes
4.	Power of attorney	Yes
5.	Copy of S G Diagram	Yes
6.	Extract from general plan	Yes
7.	Building plans (floor plan)	Yes

8.	Locality plan	Yes
9.	Site layout plan	Yes
10.	Other plans required	No
11.	Additional documentation – Bondholder's Consent	n/a
12.	Fee	Paid

The application documentation was assessed, and the following was noted:

The proposed development is located in an area envisioned for residential purposes and/or development. The surrounding land uses are residential, a primary school and an administration site. The amenity surrounding the application site are a host of upmarket residential homes with an upmarket gated estate located on the northern boundary of the application site. Therefore, the proposal for a gated development is in keeping with the surrounding land uses and does not negatively impact the overall amenity of the area and is in accordance with the provisions of the scheme and the Municipal Spatial Development Framework which recognizes the area of the application site for residential purposes.

Currently the subject property is on the market which means that the proposed development will not be developed by the current property owner. The property owner wishes to sell the property with the rights of a medium density residential estate as seen on the proposed layout plan.

## 6.2. APPLICANT'S DETAILS

### **Ownership/Title Deed**

The property is registered to Amber Productions 1 CC CK2007/043395/23.

## 6.3 SITE DETAILS

### **Locality**

The property is located in Ward 3 in an area identified for residential purposes.

### **Area of property**

The property measures 5.4545 hectares in extent.

### **Topography**

The property is gentle from North to South.

### **Current zoning**

The property falls within the area of a town planning scheme and is zoned "Residential Only Detached 1300 m<sup>2</sup>".

### **Access**

Access is off Old Main Road R103 onto Scott Street then Victoria Street.

### **Bulk Controls for property**

#### **Residential Only Detached 1300 m<sup>2</sup>**

Minimum subdivision size:	1300 m <sup>2</sup>
Coverage:	30%
FAR:	0.30
Height (storey):	2
Building Line:	7.5 m
Side & Rear Space:	2 m

## **6.4 ADVERTISING AND NOTICE**

The application was formally receipted on 29 September 2022.

It was advertised in The Witness and the Isolezwe newspaper respectively on 28 October 2022, the closing date for objections being the 30 November 2022.

Site Notices were placed at the entrance to the property on Scott and Victoria Street and on Alfred Storm Street, at the entrance of the Camperdown Spar and the Post Office.

All adjoining neighbours were notified as well as the Ward Councillor

## **6.5 COMMENTS FROM GOVERNMENT DEPARTMENTS OR COMPONENTS OF THE MUNICIPALITY**

### **6.5.1 SUBMITTED WITH THE APPLICATION**

- Eskom – response dated 28 October 2022, no objection.
- KZN Dept. of Transport– response dated 15 August 2022, no objection.
- UMDM (Water & Sanitation) – response dated 26 July 2022,  
Water – The municipality confirms that Camperdown Residential can connect to the existing municipality water network and serve the development up to approximately 23500l/d

aa

Sanitation – UMDM has no objection to the proposed as detailed in the application.

A subsequent response dated 26 January 2023 which rescinded the earlier comment was received from UMDM confirms the adequacy of supply of water for the proposed development at an estimated volume of 75 kl/d. The letter also indicated that the Camperdown WWTW can accommodate the estimated 37 kl/d sewer effluent and therefore, on-site sanitation for this development is not supported.

- Technical Services: Engineering – The department is concern about the disposal of storm water into attenuation ponds. Consideration should be given into diverting storm water via the road servitude into Alfred Storm Drive.

The Municipality will be responsible for the construction of Victoria Street which is budgeted for in the 2023/2024 financial year.

## **6.6 OBJECTIONS FROM PERSONS NOTIFIED DURING THE PUBLIC PARTICIPATION PROCESS**

**6.6.1** Mr C. & Mrs Taylor objection dated 14 November 2022 – Please refer to annexure D. objections centred around the issues of;

1. Stormwater disposal
2. Sewage disposal
3. Competency of consultants.

(Full response attached in **Annexure D**)

## **6.7 RESPONSE FROM THE APPLICANT TO THE OBJECTIONS RECEIVED**

Please refer to **Annexure E**.

## **7. THE MUNICIPAL SPATIAL DEVELOPMENT FRAMEWORK PLAN (June 2019)**

The Camperdown area is recognised as the primary municipal development node in the Municipal SDF. It plays a major role in the structuring elements of the town and the surrounding area, which constitutes the main focus of investment and development within the municipality. The main concentration of diverse activities and mixed land uses, availability of existing infrastructure and public transport facilities, are located in this node. Here, vertical and high-density development should be promoted based on the availability of infrastructure.

**Mkhambathini Urban Scheme (June 2020)**

The application site is zoned "**Residential Only Detached 1300 m<sup>2</sup>**".

The Statement of Intent for this zone reads as follows:

"This zone promotes the development of primarily detached dwelling units, and a limited number of compatible ancillary uses, which have a non-disruptive impact on a neighbourhood amenity, may be allowed."


- Permitted Uses:
- Additional Self-Contained Dwelling unit  
(On lots larger than 2000m<sup>2</sup>)
  - Dwelling House
  - Home Activity
  - Nature and Resource Conservation
  - Nursery Garden
  - Residential Building

- Consent Uses:
- Additional self-contained dwelling unit  
(Provided there is adequate percolation)
  - Bed and Breakfast
  - Crèche
  - Day Care Centre
  - Guest Lodge
  - Home Business
  - Medium Density Housing (Minimum lot size 2000m<sup>2</sup>)
  - Telecommunications infrastructure

Prohibited: Buildings and land uses not listed under the Permitted and Consent uses.

**SUBMITTED FOR CONSIDERATION**

It is confirmed that this application for municipal planning approval complies with items 5 to 12 of Schedule 4 of the By-laws

  
Report Generator: **MS ZINHLE MBONAMBI**  
**DEVELOPMENT PLANNING ADMINISTRATOR/REGISTRAR**



**REM OF ERF 10 CAMPERDOWN  
SCOTT STREET  
CONSENT AND REZONING**

**SCHEME AMENDMENT APPLICATION IN TERMS OF THE  
SPATIAL PLANNING AND LAND USE MANAGEMENT ACT  
No.16 OF 2013 AND THE MKHAMBATHINI PLANNING BY-  
LAW**

**SUBMISSION  
2022**



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**APPENDICES**

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## 1. INTRODUCTION

### 1.1 THE APPLICANT

This application is submitted in terms of Spatial Planning and Land Use Management Act (SPLUMA), Mkhambathini Planning By-Law and any other applicable Legislation, by Simon Plunkett, on behalf of **AMBER PRODUCTIONS 1CC CK2007/043395/23** being the owner of Remainder of Erf 10 Camperdown represented by **Mr. N. TYLER** who by resolution has been given authority to do so. The Power of Attorney, Resolution and Bond Statement are attached hereto as Appendix 1 as are the Company Documents.

### 1.2 THE PROPERTY

Table 1: Property Information

<b>Property Description</b>	<b>Remainder of Erf 10 Camperdown</b>
<b>Street Address</b>	<b>Access off Scott / Victoria Street</b>
<b>Title Deed Number</b>	<b>T004777/2012</b>
<b>SG Diagram</b>	<b>991/47 &amp; 2124/1988</b>
<b>Compilation Diagram</b>	<b>FTSN – 218; 232 &amp; 233</b>
<b>Erf Area</b>	<b>5.4545 Hectares</b>
<b>Restrictive Conditions In Title</b>	<b>Nil</b>
<b>Servitudes</b>	<p><b>Condition B. Water Reservoir Servitude – This Servitude will remain and not affect the application.</b></p> <p><b>Condition D. Pipeline Servitude - This Servitude will remain and not affect the application.</b></p>

Title Deeds, SG Diagrams and Compilation Diagrams are found in Appendix 2.

### 1.3 PURPOSE OF THE APPLICATION

---

**Application** is made for:

- a. **Consent to permit Medium Density Housing on Remainder of Erf 10 Camperdown being in the Residential Only Detached 1300m<sup>2</sup> Zone.**
- b. **Permit Outbuildings being a Security Gatehouse, Workshop and Bin Area and permit these in front of the Building Line.**
- c. **Rezone the Internal Roads of the development from "Road" to "Residential Only Detached 1300m<sup>2</sup>".**
- d. **Road Closure of the Internal Roads located within Remainder of Erf 10 Camperdown**
- e. **Withdrawal and Cancellation of General Plan with SG Number 1746/2007 and SG Diagram Number 2124/1988.**
- f. **Donation of the Road Widening Area along Alfred Storm Street to the Mkhambathini Municipality of approx. 9.00m wide with an area of 1670.00m<sup>2</sup> (formerly known as Portion 403 (of 21) of Remainder of Erf 10 Camperdown).**
- g. **Phasing of the Development over 4 Phases as per the diagram by C.Y. Baily – Designs Inc. Drawing No. 21/10/02 Rev A Dated September 2021.**

### 1.4 THE APPLICATION SITE

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#### **LOCATION**

The Location Diagram is attached in Appendix 3. The site is situated within an established Residential Neighbourhood within Camperdown. Around three of the borders of the site, all the properties are zoned Residential only Detached 1300. The site is hemmed in by these properties forming an island within the residential component of the Town. The northern boundary is Alfred Storm street which provides access to the Eagles Ayre development. Driving along the R103 towards Pietermaritzburg (over the railway), the first right is Scott Street. Diving up Scott Street, at the intersection of Victoria and Scott, the development is located on the left hand Side. The entrance to the site is off Scott/Victoria Street and the coordinates are: **29°43'34.29" S - 30°32'04.35" S.**

#### **TOPOGRAPHY**

The property can be described as flat with a gentle fall from the north east to the south west. Old internal roads are evident.

#### **VEGETATION**

The property contains scrub and some small unkempt trees.

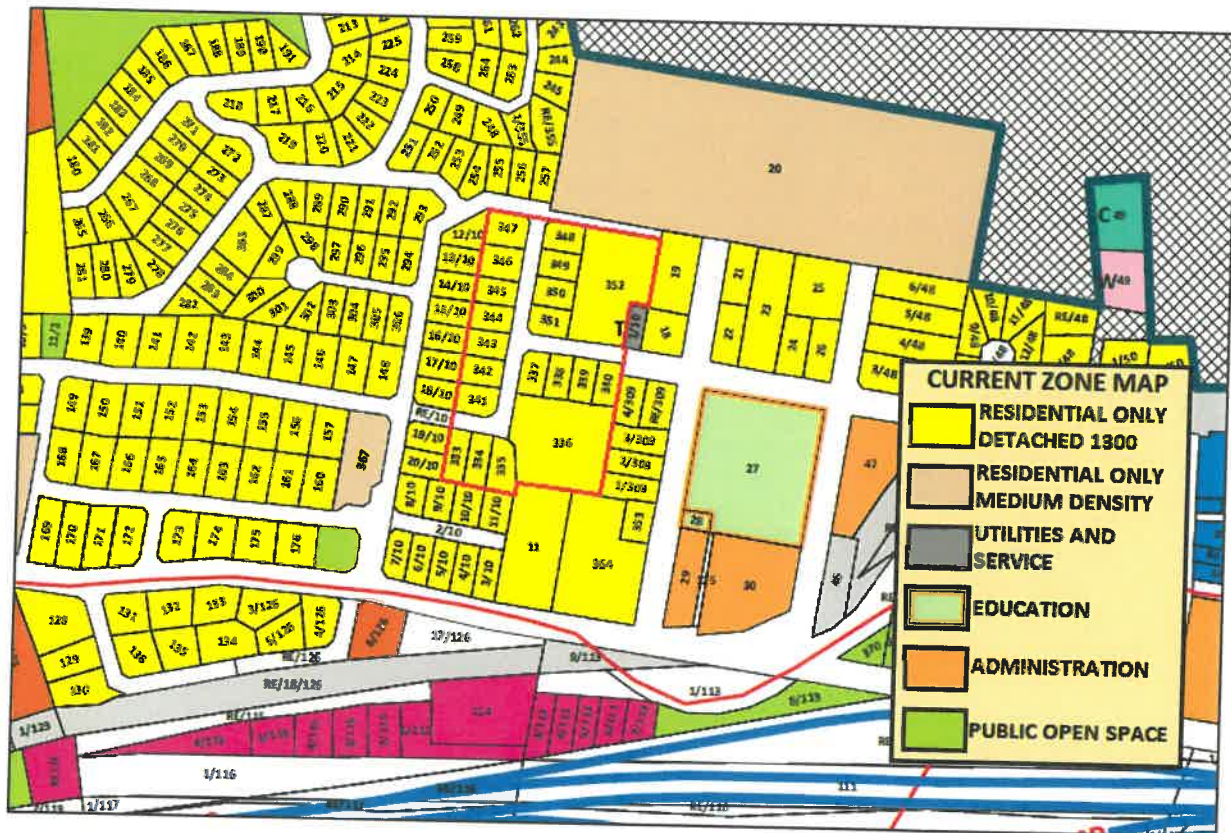
#### **WATER COURSES**

There are no water courses on the site.

## 2. LAND USE AND ZONE

### 2.1 CURRENT ZONE

The Current Zone is Residential Only Detached 1300m<sup>2</sup> (ROD 1300) and Roads (Existing and Proposed).



#### 2.1.1 ROD 1300

##### STATEMENT OF INTENT:

This zone promotes the development of primarily detached dwelling units, and a limited number of compatible ancillary uses, which have a non-disruptive impact on a neighbourhood amenity, may be allowed.

In this zone, Medium Density housing is permitted by Consent provided the Minimum Erf Size is greater than 2000.00m<sup>2</sup>. The site is 54 545.00m<sup>2</sup> and is therefore more than compliant.

The Density permitted is 12 Units per Hectare. This equates to 1 unit per every 833.33m<sup>2</sup> and would permit 65 units. The application site proposes 45 units.

The site is in keeping with the Statement of Intent of the Scheme and the Density requirements. Therefore the Request for Consent to permit a Medium Density Housing Development is suitable as will be shown throughout this document.

## 2.1.2 ROADS

**STATEMENT OF INTENT:** This is a zone that makes provision for the reservation of land for designated roads and areas for road widening.

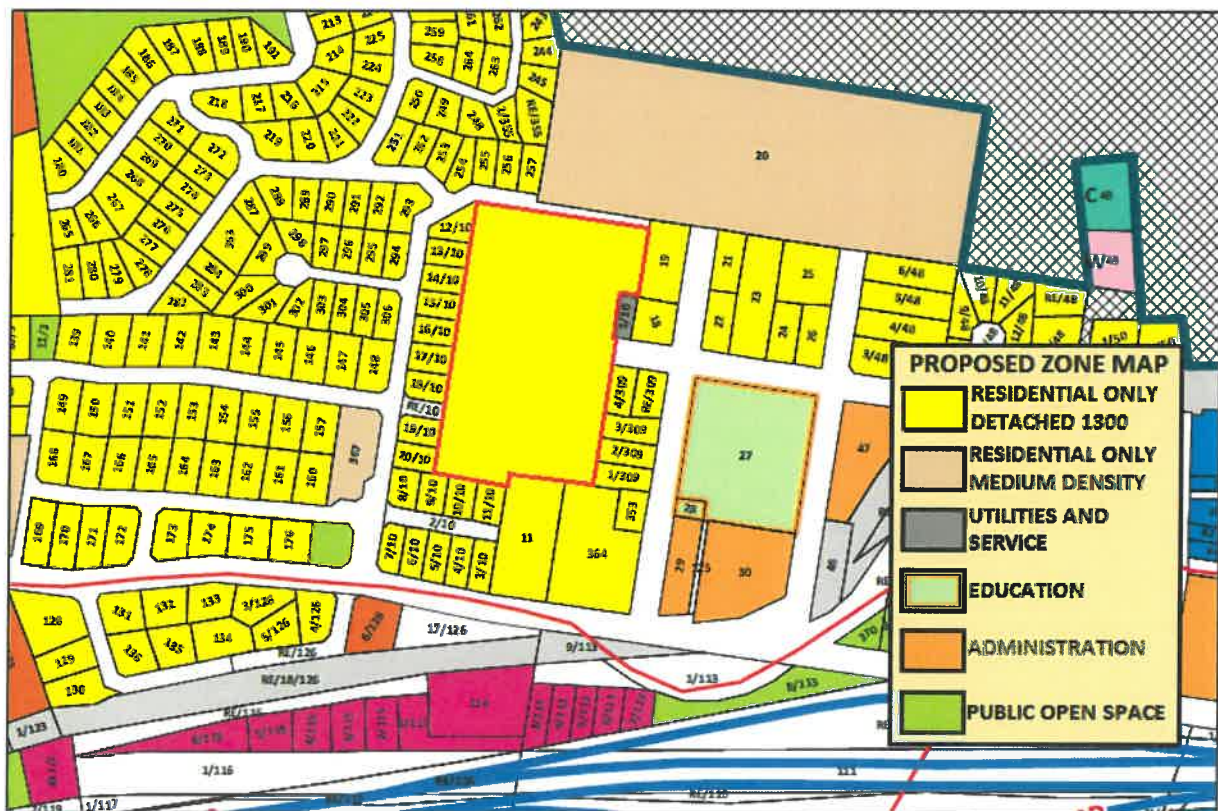
The roads shown on the Current Zone Map above and the General Plan and SG Diagrams (which are to be withdrawn) were instituted under a previous development when subdivisions were proposed. This development never progressed. With the withdrawal of the SG Diagrams 1746/2007 and 2124/1988, the roads will fall away and be replaced by an internal private road system. The areas which were designated as roads will be rezoned to Residential Only Detached 1300.

The Zone Controls are shown in Appendix 4.

## 2.2 PROPOSED ZONE

The application site will retain its ROD 1300 zone with Consent to permit 45 Residential Units, a security gate house, workshop and bin area.

The Roads as shown within will be closed and will be rezoned from Road to ROD 1300. The development will be serviced by internal private roads as will be seen in the Site Development Plan.



## 2.3 SURROUNDING ZONES

The surrounding zones can be seen on the Current and Proposed Scheme Maps as shown above. The surrounding zones are as follows:

**Table 2: Surrounding Zones**

ZONE	
Residential Only Detached 1300m <sup>2</sup>	Administration
Residential Only Medium Density	Public Open Space
Residential Only High Density	Light Industry
Utilities and Services	Railway
Education	

## 2.4 SURROUNDING LAND USES

The Surrounding Land Use diagram is attached in Appendix 5. The majority of the use in the area are largely singled residential dwellings interspersed with some Medium Density Development such as Eagles Ayre to the north of the site. The uses on the map correspond with the numbers shown in the table below:

**Table 3: Surrounding Land Uses**

No.	USE
1.	Eagles Ayre Medium Density Residential Development
2.	Camperdown Primary School
3.	Vacant Land
4.	Vacant land zoned for Residential Only Medium Density
5.	Administration (Government/Municipal)
6.	Public Park
7.	Water Tower and Utilities

## 2.5 RESTRICTIVE CONDITIONS IN TITLE

Nil.

## 2.6 SERVITUDES

**CONDITION B. Subject to a Servitude of Water Reservoir fifteen comma two four (15,24) meters wide lettered a.b.D.E. on the diagram thereof, in favour of the Camperdown Health Committee, as created in Notarial Deed of Servitude No. 389/1964S.**

This Servitude is now contained on its own subdivision Portion 1 ( of 10) of Camperdown and is currently being transferred to the Umgungundlovu District Municipality from the Mkhambathini Municipality. Therefore this Servitude is no longer applicable to the site. The accompanying Diagram relating to Portion 1 (of 10) is attached in Appendix 6. The servitude described above now resides on Portion 1 (of 10) and not the application site.

**CONDITION D: Subject to a Pipeline Servitude 3 metres wide, represented by the Figure ABCD on Servitude Diagram S.G. No. 291/1978 in favour of the Camperdown Health Committee, as created in Notarial Deed of Servitude No. K761/85S.**

This servitude will remain and be unencumbered. It has been incorporated into the development and can be seen on the attached site plan. The diagram related to this servitude is shown in Appendix 6.

### 3. SITE & BUILDING PLAN

The Site Plan by C.Y. Baily – Designs Inc. Drawing No. 21/10/01 Revision F Dated September 2021 is shown in Appendix 7A and can be referred to with the discussion below.

Note that the Workshop and Bin Area as designated can be moved back a little to provide access to the Pan Handle of Portion 1 (of 10) of Camperdown which contains Municipal Services. This is easy enough to remedy.

The area to be used for widening Alfred Storm Street has been precluded from the site plan and this is described later in the project. While the Registered Area of the site is 54 545.00m<sup>2</sup>, the area of land needed for widening has been excluded from the developable area. This results in a developable area of approximately 51 900.00m<sup>2</sup>. The Coverage and Floor Area Ratio calculations are based on 51 900.00m<sup>2</sup>. While the Road Widening area of Alfred Storm Street is approximately 1670.00m<sup>2</sup>, there may be other Auto-Cad functions which affected the architects determination of the site area which resulted in the figure of 51 900.00m<sup>2</sup>. Thus to be safe, this is the area which all calculations are based on.

#### 3.1 PHASED DEVELOPMENT

The Development proposed a four phased approach. This phasing can be seen on the attached diagram by C.Y. Baily – Designs Inc. Drawing No. 21/10/02 Rev A Dated September 2021, Appendix 7B. The details of the Phasing can be seen on the plan. The Phasing will occur largely in accordance with the plan, however, if amendments of a minor nature need to be made, these can be undertaken with the Municipality whom can provide their consent. If the amendments are considered major, the Municipality at its discretion can determine whether an Amendment Application is required.

In Summary, the phased proposal is as below:

##### PHASE 1

- Sites 1 – 4 & 40 - 45 being 10 Units,
- Gate House and Entrance Bin Area, Workshop and
- Boundary Wall A – B and
- Temporary Fence B, F, G, A
- Roads 1, Part 2 (To G) Part 5 (To F),

##### PHASE 2

- Sites 18 - 29 12 UNITS
- Boundary Wall C, D, E
- Temp Fence F - C, E - G
- Roads Remainder 2, 3

**PHASE 3**

- Sites 5 - 17 13 Units
- Boundary Wall B - C
- Remove Temp Fence B - F, F - C
- Roads Remainder 5, 7, 8, 9

**PHASE 4**

- Sites 30 - 39 10 UNITS
- Boundary Wall E - A
- Remove Remaining Temp Fence
- Roads 4
- Develop Common Property

**3.2 COVERAGE - FLOOR AREA RATIO (FAR) - HEIGHT**

Table 4: Coverage | FAR | Height

Site Area – 51 900.00m <sup>2</sup>	Coverage (% & m <sup>2</sup> )		FAR (ratio & m <sup>2</sup> )		Height
<b>Permitted</b>	30%	15 570.00	0.3	15 570.00	2 Storeys
<b>Actual</b>	12.32%	6393.60*	0.1 (0.095)**	4978.00***	1 Storey

\*This includes the uncovered patios as well as the Gate House and Workshop

\*\*This figure is rounded up from 0.095 to 0.1 as a ratio

\*\*\* This excludes the uncovered patios and carports

There are 5 styles of Unit proposed. These can be seen in the attached Building Plans in Appendix C. A Schedule of the Exclusive Use Areas per unit is shown on the Site Development Plan. These range from 600.00m<sup>2</sup> to 1400.00m<sup>2</sup>.

The table below shows the Coverage and FAR per unit and as a Total. Coverage of each unit includes that Patio, Storeroom and Carport. The FAR only includes the Unit and Storeroom.

Table 5: Housing Typology – all measurements are in m<sup>2</sup>

House Type	No. of Units	Unit Coverage	Total Coverage	Unit FAR	Total FAR
<b>1 – Imbalala</b>	10	106.40	1064.00	86.00	860.00
<b>2 – Idube</b>	4	116.10	464.40	86.00	344.00
<b>3 – Ingwenya</b>	16	126.80	2028.80	106.00	1696.00
<b>4 – Ingwe</b>	7	154.00	1078.00	122.00	854.00

<b>5 – Ibhubesi</b>	8	214.80	1718.40	151.00	1208.00
<b>Gate House and W/shop</b>	-	40.00	40.00	16.00	16.00
<b>TOTAL</b>	<b>45</b>		<b>6393.60</b>		<b>4978.00</b>

### 3.2.1 COVERAGE

As per the Scheme, Coverage is defined as follows:

**2.23. "Coverage" means the proportion of a lot covered by buildings and is expressed as a percentage of the lot area as defined.... Only roofed or covered areas are included in the coverage.**

This application calculates all areas concerned in determining the Coverage. As seen in the tables above, the Coverage is below the maximum permissible.

### 3.2.2 FLOOR AREA RATIO (FAR)

As per the Scheme (where applicable) FAR is defined as follows: Clause 2.46.3 applies.

**2.46. "Floor area" means the floor area of a building which shall be taken as the sum of the roofed areas of the building at each floor level, measured over and including wall thicknesses and enclosed balconies, verandas and staircases but shall exclude:**

**2.46.3. Covered parking spaces or garages other than such areas within a Service Station, parking erf/parkade and automotive showroom;**

This application excludes the carport and patios (they are not enclosed) in determining the Floor Area Ratio.

As seen in the tables above, the FAR is well below the maximum permissible.

### 3.2.3 MINIMUM AREAS FOR MEDIUM DENSITY HOUSING

As per the Scheme, the following applies.

**6.8.5.3. The following minimum areas per dwelling unit shall apply to a Residential Only Medium Density site:**

- **Private Open Area = 30m<sup>2</sup>:**

Each Unit has a substantial exclusive use area more than catering to this requirement

- **Usable Common Open Area = 50m<sup>2</sup>: -**

This requirement would be 2250.00m<sup>2</sup>. As seen on the Site Development Plan there is more than required at 2900.00m<sup>2</sup>.

- **Utility Area = 15m<sup>2</sup>: -**

Each Unit has a substantial exclusive use area more than catering to this requirement

- **The minimum floor area of a garage or carport shall be 18m<sup>2</sup>: -**

Each carport is 18.00m<sup>2</sup>

### **3.2.4 INTERNAL ROAD WIDTHS**

The Internal Private Roads are as per the Mkhambathini Scheme.

**"The minimum width of a road carriageway within a Medium Density Housing site shall be 3 metres where the carriageway is one-way and 5.5 metres where the carriageway is two-way".**

**"Situated at the end of every cul-de-sac there shall be provided turning space to the satisfaction of the Municipality".**

These have been complied with.

## **3.3 BUILDING LINE, SIDE AND REAR SPACE**

### **3.3.1 BUILDING LINE**

**Scheme Requirement: 7.50m**

The application site is adjacent to a street providing access to Eagles Ayre. All buildings are set back more than 7.50m from the Building Line. The Workshop and Bin Area and Bin Area can be moved back to accommodate the panhandle of the Utilities Site. However since they are integral to the functioning of the site, they may be in front of the building line.

This is a common and sensible practice in medium density developments in order to allow easy access to the buildings. They will not impinge on the amenity of the area at all. The same is true for the Security Gatehouse. This building will be placed in front of the Building Line due to its function. This is also normal practice to ensure that security of access is maintained to a high degree. None of these buildings will affect the surrounding neighbourhood or functionality of the road.

### **3.3.2 SIDE SPACE & REAR SPACE**

**Scheme Requirement: 2.00m**

The majority of the application site is adjacent to other ROD 1300 properties and none of the buildings encroach within the 2.00m Side and Rear Spaces. All septic tanks which are considered "buildings" by Mkhambathini have been located outside of the Side and Rear Space.

## **3.4 CONSENT FOR MEDIUM DENSITY HOUSING**

Medium Density Housing is permitted by Consent in the ROD1300 zone. In this case, the land parcel used for the development is large and the Units have been well spaced throughout.

The permitted density is 12 units per hectare. This equates to one unit for every 833.33m<sup>2</sup> If utilising the developable area of 51 900.00m<sup>2</sup> as shown in the Coverage Table, the permitted number of units would be 62.

The development proposes 45 units of varying sizes throughout and has given each unit an ample exclusive use area. Therefore there are 17 units less than permissible and this has been done with consideration to the liveability of the site and to be in keeping with the surrounding residential neighbourhood which tends to have larger properties.

### 3.5 OUTBUILDINGS

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These will be used for the functioning of the development. These include a Gatehouse for security, Workshop for maintenance of the development and a Bin Area which will allow the secure storage of refuse in a dedicated facility. These are common to have within developments and provide dedicated and localised areas for their functioning.

**“Outbuilding” means a building ordinarily used in conjunction with a dwelling unit(s), and used for the garaging of private motor vehicles, storeroom, staff rooms and ablution facilities, and workroom; workroom meaning a room used for maintenance of the dwelling unit(s) or for private hobbies.**

### 3.6 GENERAL PLAN WITHDRAWAL AND CANCELLATION

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#### 3.6.1 GENERAL PLAN 1746/2007

The properties shown in SG Plan No. 1746/2007 were never transferred. This diagram also relates to SG Diagram 2124/1988 which was also never Registered with the Deeds Office. These diagrams will be withdrawn and cancelled by a Professional Land Surveyor. Therefore all internal roads will fall away and become private roads zoned Residential Only 1300.

The valid SG Diagram 991/1947 will become the applicable diagram.

#### 3.6.2 PORTION 1 OF 10 CAMPERDOWN

Portion 1 of Erf 10 Camperdown is a separate Erf and contains the water services owned by Mkhambathini which is due to be transferred to the Umgungundlovu District Municipality and does not form part of the withdrawal. Its diagram is attached in Appendix 6.

### 3.7 ROAD CLOSURES

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#### 3.7.1 ROAD SERVITUDE FORMER REM 10 CAMPERDOWN

Robertson Road extended up to and into the application site (which is seen easily enough in the Current and Proposed Zone Maps). The point where Robertson Road reached the boundary of the application site is a Road Servitude over Rem 10 Camperdown and this diagram (SG No. 4427/1984) has been withdrawn. It can be seen in Appendix 8. It will remain a servitude however. Road Closure from its access point at the site's edge is requested and the access point will be sealed off and will not be utilised by the development. With the withdrawal of Diagram 1746/2007 and 2124/1988, this Road Servitude will still remain as per Diagram 991/1947 attached.

### 3.7.2 ALFRED STORM DRIVE ROAD CLOSURE

The Zone maps shows a road leading to the north providing access to Alfred Storm Drive Street. Road Closure here is also requested and the access point will be sealed by virtue of the development itself (via the construction of the units). There is no need for specific sealing of the entrance.

### 3.7.3 SCOTT STREET ROAD CLOSURE

Road Closure is requested for Scott Street (Victoria) where Scott Street terminates at the entrance of the site. This is where the gatehouse and access to the site is located. Beyond this point the road will be a private internal road.

All of these roads that traversed through the site as per the Current Zone Map will be rezoned from Road to ROD 1300.

## 3.8 ROAD WIDENING – ALFRED STORM

---

With the withdrawal of SG 1746/2007 and Diagram No. SG 2124/1988, SG Diagram 991/1947 becomes applicable. This effectively reincorporates the area that was to be utilised for widening Alfred Storm Drive. The Site Plan attached has already taken this into account and has precluded this from the Development Area as the Developer is cognisant of this requirement. Therefore it is not shown on the Site Development Plan as it has already been excluded.

We request the Municipality to consider that it will subdivide this required widening area off of Remainder of Erf 10 Camperdown , with the necessary paperwork concluded between both parties to do so in due course. A guide to this subdivision would be to utilise the area known as Erf 403 Camperdown as shown on SG Diagram 1746/2007 as this the Proposed Erf that was to be utilised for the Road Widening area along Alfred Storm.

## 3.9 BODY CORPORATE

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A Body Corporate will be established to oversee and manage the functioning of the Development. All subsequent owners of any unit will be bound by the rules, regulations and requirements of the Body Corporate.

All common property will be managed and maintained by the Body Corporate.

## 3.10 SUMMATION

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As is seen under Point 3, the development adheres to all the requirements of a Medium Density Housing Site. The number of units proposed is 17 less than what is permissible. The development is in keeping with the overall ethos of the surrounding area and will rehabilitate a derelict portion of prime land to residential housing opportunities. The development fits all the criteria and no relaxations of

buildings lines, coverage or any other feature is required. The only zone change required is that of the existing roads as shown on the Zone Maps. These roads will fall away with the withdrawal of the SG Diagram and be replaced by internal private roads. Therefore the closure and rezoning of these roads is sensible and does not require additional motivation.

## 4. ENGINEERING AND SERVICES

### 4.1 GEOTECHNICAL CONSIDERATIONS

An earlier report by Davies Lynn and Partners was revised by A. Krebs in February 2022 with Reference N7211. This report is attached in Appendix 9. The revision of the report was required as the number of units had increased from 31 to 45 in total.

#### **On-Site Sanitation**

Point 9 Pg. 4: The report shows that the property is suitable to accommodate on site sanitation via septic tanks and French drains provided the recommendations are followed. These have been indicated on the Site Development Plan.

#### **Internal Roads**

Point 10 Pg. 5: The report shows that typical materials encountered at road subgrade level be undercut by 300mm and replaced with an imported, select layer of G7 material compacted to 93% Mod AASHTO maximum dry density beneath all proposed road layer-works.

#### **Preliminary Founding Recommendations**

Point 11 Pgs. 6 – 7: The report recommends that foundations be located at 1,5m depth below existing ground levels.

To achieve these founding recommendations, three options are provided and these are taken directly from the Report:

##### **Option 1: Footing located at 1,5m depth**

Option 1 comprises founding of the proposed footings at a depth of 1,5m below existing ground level. The base of the footing excavation at 1,5m depth should be inspected to ensure that there are no “soft spots” after which it should be lightly compacted. It is advisable to cast a thin blinding layer onto the base to prevent the soils from drying out, whereafter the footings can be constructed. Brickwork would then be used in the plinth build-up to floor level.

##### **Option 2: Footing located at 0,8m depth onto improved ground**

Option 2 comprises founding of the proposed footings at a standard depth of 0,8m below existing ground level, but onto improved ground. The base of the footing excavation at 1,5m depth should be inspected to ensure that there are not “soft spots” after which it should be lightly compacted. Selected G5 material should then be backfilled in layers not exceeding 200mm, individually compacted to 97% Mod AASHTO maximum dry density, up to underside of footing level.

##### **Option 3: Footing located at 0,8m depth spanning mass concrete pads**

As an alternative to the improved ground in Option 2, Option 3 comprises supporting the proposed footings at a standard depth of 0,8m below existing ground level on mass concrete pads. The mass concrete pads would then need to be located at 1,5m depth below existing ground level and at all

**wall corners and intersections as well as at 2,0m centres. This spacing is based on a typical span for a standard unreinforced concrete footing.**

**As the founding conditions are relatively uniform and no significant cut to fill platforms are anticipated, it is not considered essential to reinforce the proposed concrete footings. In terms of surface bed floors, it is recommended that the potentially expansive, clayey subsoils that will be encountered at surface bed floor level be undercut by at least 200mm and replaced with a lightly compacted layer of imported, select G5 material.**

**These preliminary founding options are based on the typical subsoil conditions established during this preliminary geotechnical investigation. Although conditions are not expected to vary significantly, site-specific founding recommendations are beyond the scope of this report and would obviously be dependent on design of the structure that is proposed. The above preliminary founding recommendations are therefore meant to be a guide and to be used for initial planning and costing purposes. A detailed geotechnical investigation would be required in accordance with the SANS 634 and NHBRC Guidelines.**

Therefore, provided the recommendations of the Geotechnical Report are adhered to, the development would be suitable from a sanitation, roads and foundation perspective.

## **4.2 STORM WATER MANAGEMENT PLAN**

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A Storm Water Management Plan was produced by Umsunguli Project Management dated 7 March 2022. This report is attached in Appendix 10.

The recommendations are taken directly from the report on Page 12 and are as follows:

- 1.1 Stormwater management should comply with municipal bylaws and other legislations where applicable.**
- 1.2 The upper residential dwellings will consist of grass drains that will channel the storm water into the system which will attenuate to attenuation pond 1 and conveyed to an outlet located on Victoria Street and stormwater harvesting will be implanted in the form of JoJo tanks for the bottom left sites**
- 1.3 The bottom half of the residential dwellings will drain into attenuation pond 2 via grass drains and storm water pipes.**
- 1.4 All residential dwellings should utilise the 2500l storage tank and ensure that it is emptied consistently.**
- 1.5 The storm water system must be kept separate from the on-site sanitation system.**
- 1.6 All chemicals, cement, fuel and other hazardous material used during construction should be stored in controlled areas.**
- 1.7 Concentration of storm water should be prevented where possible, but energy dissipaters should be provided in areas of concentration.**

- 1.8 On completion of the construction of buildings, roads and parking areas, all remaining exposed embankments and open areas must be vegetated as soon as possible, including the use of "Soilsaver", where necessary.**
- 1.9 The attenuation ponds must have some form of a silt trap mechanism.**
- 1.10 During the construction phase, the following aspects should be closely monitored to ensure the contractor complies:**
- **Temporary berms and cut-off drains must be provided on site to collect run-off, especially until the attenuation ponds are complete and functional.**
  - **Silt screens must be provided at the grid inlets / splayed construction during road construction.**
  - **Topsoil must be conserved on site and prevented from entering the stormwater system.**
  - **Exposed embankments, cut/fill slopes and open areas must be vegetated as soon as possible to reduce runoff.**
  - **Dust control during construction must be applied at all times.**
  - **Excess spoil material from topsoil or bulk earthworks must be placed in areas or even removed entirely off site to minimise silt deposition, scouring and soil erosion.**
  - **Post construction, all exposed areas must be covered in vegetation, grass or landscaped.**

Calculations and flow directions are shown in the Annexures of the report and have also been included on the Site Development Plan. Provided the developer adheres to these recommendations the storm water will be effectively managed on site.

## **4.3 ACCESS AND TRAFFIC IMPACT**

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### **4.3.1 ACCESS**

Access will remain off Scott Street with a dedicated entry and exit point controlled by a security gate house. The refuse and workshop area are also located at the entrance.

### **4.3.2 TRIP GENERATION**

Umsunguli Project Management produced a Traffic Statement attached in Appendix 11A dated 2 March 2021 with reference No. UPM267/2.4.

In terms of Trip Generation the report indicates the following on Pg. 1:

**The number of per trips per day is below the threshold of 50 vehicles/hour and therefore does not require a traffic impact assessment but a traffic statement. Traffic generation will be limited to residents and all vehicles are expected to be light vehicles, with heavy vehicles limited to delivery trucks, home removal and refuse collection. Although it is not expected that all residents will have vehicles, the traffic generation will be based on 1 parking for unit types 1 to 4 and 2 parking's for units type 5. This configuration is expected to generate 1.5 trips per household per day which is 67 trips per day.**

As seen the 67 trips is calculated for the day, not hourly.

The conclusions below are taken directly from the report on Pg. 6.

## Conclusion

Based on the observations and traffic volume from the traffic count obtained on the 17th and 19th of January 2022 at the Alfred Storm Drive off the R103 Intersection and Scott Street Intersection, the traffic generation is expected to be the following:

1. At 07h00 to 08h00 on the 17th of January 2022, the R103 east bound and the Scott Street Left turning traffic is combined the total is 129 per hour. (Tippers excluded). This equates to +2 vehicles per minute.
2. At 07h00 to 08h00 on the 19th of January 2022, the R103 east bound and the Scott Street Left turning traffic is combined the total is 174 per hour. (tippers excluded), this equates to -3 vehicles per minute.
3. At 15h30 to 17h30 on the 19th The peak of 30 vehicles in 10 minutes equates to 1 vehicle every 20 seconds
4. Some of the construction tip trucks will not be present once the N3 upgrade is completed and must be discounted.

The existing road infrastructure at the R103 and Scott Street functions well and efficiently and there is no need to do any further improvements or upgrades to the geometrics or intersections although the rumble strips and concealed driveway signboards should be erected by the Developer.

As seen from the conclusion, there is unlikely to be significant impact to the road network. No upgrades or improvements are required.

### 4.3.3 PARKING

As per the Scheme Controls, the following applies:

#### 6.7.3. PARKING AND LOADING ACCOMODATION FOR RESIDENTIAL ZONES

- 6.7.3.1. For every dwelling unit within a Medium Density Housing site, there shall be provided 1 garage or carport for each dwelling unit. In addition, there shall be provided a suitable area for visitors parking at a rate of 1 car space for every 2 units, provided that the additional car spaces are not placed on the private open area.

Each Unit has its own carport and in the case of the larger Ibhumbesi Units (145.00m<sup>2</sup>) 2 carports have been provided. Each unit and its curtilage are able to accommodate a visitor parking which is more than the Scheme Requirement. The carports have purposely been set back on each site to permit visitor parking.

### 4.3.4 INTERNAL ROAD WIDTHS

The Requirements of the Municipality are as follows:

- 6.8.5.4. Where in the opinion of the Municipality, a road within a Medium Density Housing site shall serve the public; the Municipality may require the road to be registered as

**a public road, provided that for the purpose of bulk and coverage calculation, the area of the public road shall be included in the gross site area.**

**a. The minimum width of a road carriageway within a Medium Density Housing site shall be 3 metres where the carriageway is one-way and 5.5 metres where the carriageway is two-way.**

**b. Situated at the end of every cul-de-sac there shall be provided turning space to the satisfaction of the Municipality.**

The Site Development Plan shows all road widths at 5.50m.

#### **4.3.5 DEPARTMENT OF TRANSPORT COMMENT**

Attached in Appendix 11B are Comments by KZN Dept. Transport to Umsunguli Project Management with reference T10/2/2/242/104 Dated 15 August 2022 along with the diagrams.

As seen in these comments the Minister has no objection to the Proposed Development. All recommendations and findings of the Umsunguli Report are acceptable to the Department.

All that is required is the determination of the road reserve boundary (15.00m either side of the road centreline, a total of 30.00m) in consultation with the Department.

#### **4.4 ELECTRICITY**

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A letter received by Umsunguli Project Management from Eskom dated 12 May 2022 with reference No. ER\_INV\_384/2022 attached in Appendix 12: indicates that there is a nearby electricity supply but does not guarantee electricity will be available at the time and deposit payment of said application. In any event, the developer will be instituting alternative energy devices into the development in order not to rely on external power supply.

#### **4.5 WATER**

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Water will be provided by the Umgungundlovu District Municipality as per their letter attached in Appendix 13 dated 26 July 2022 addressed to Umsunguli Project Management. It confirms that the Development can connect to the exiting Municipal network and serve the development up to 23500l/day. A formal application will have to made to install a bulk water meter.

#### **4.6 SANITATION**

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As per the same letter attached in Appendix 13 concerning Water Provision, dated 26 July 2022 addressed to Umsunguli Project Management, the Umgungundlovu District Municipality acknowledges that the development will construct its own septic tank and soak-away systems and

that these must be submitted to the Municipality for approval. The District Municipality has no objection to the development.

The Geotechnical Report indicates that this method of sanitation is suitable on the site.

## 5. IMPACTS

### 5.1 SCALE OF THE IMPACT TO THE AMENITY OF THE AREA

The Current Zone Map and General Plan 1746/2007 indicates that the site was to be developed for Residential Purposes in the past. As stated in this document, the General Plan will be withdrawn from the Surveyor General and replaced by one that indicates the original site prior to its subdivision.

The amenity is unlikely to be affected in terms of the type of development proposed. The Development is to be a Residential one (as it was before) and will retain the ROD 1300 zone prevalent in the area. There is no deviation from the Residential nature of the area. The site more than complies with the Medium Density Housing control where the control actually permits 62 - 65 units on the development, only 45 are proposed. This more than retains the overall minimum erf size of 1300.00m in the ROD 1300 zone.

The Units proposed are all single storey each with exclusive use areas ranging from 600.00m<sup>2</sup> to 1400.00m<sup>2</sup>. Residential nature of the development is entirely in keeping with the surrounding residential nature of this area of Camperdown.

In terms of the number of units the Amenity of the site and area will be altered. Presently the site is a vacant piece of ground located within a residential neighbourhood, surrounded by houses. The site has indications of the establishment of the internal roads when it was to be developed in the past, but this was never continued. The 45 additional units will increase the number of people living in the area as well as increase the traffic component. This is the norm and is to be expected. This is a form of infill development whereby an existing Residential Zoned site will finally be developed for the benefit of the new home owners and the Municipality as a whole. It is not a Greenfields site promoting Urban Sprawl. It is a site that has already been established for Residential Development.

Therefore, the Residential Amenity will be retained, but traffic and number of people will increase. The Traffic Statement shows that this increase will not unduly affect the area.

### 5.2 POTENTIAL IMPACT ON THE SOCIO-ECONOMIC CONDITIONS

The Impact on the Socio-Economic Conditions will be significant. In the short term, the Construction of the development will provide employment to Building Contractors, their subcontractors such as Electricians, Plumbers, Engineers and so forth. Once the construction has been completed there will be the requirement of maintenance by various professions from time to time which provides ad-hoc employment. In addition to this casual and permanent employment will be created in the form of domestic help and garden maintenance.

Importantly, the development will provide residential opportunities in Camperdown which are in high demand. According to an Mkhambathini Official, the Municipality is looking forward to the development due to the housing that it will provide as it is in short supply in Camperdown.

The Light Industrial sector in Camperdown is progressing in the various developments that have come one line with a number still waiting in the pipeline and this will provide additional employment

opportunities to the Town as a whole. A number of these employees are likely to require accommodation and this Residential Development provides housing opportunities for those employees.

The development will increase the rates base for the benefit of the Municipality

### 5.3 IMPACT ON EXISTING OR PROPOSED DEVELOPMENTS IN THE VICINITY

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There is unlikely to be any impact on existing or proposed developments in the vicinity. As seen in the attached Diagram in Appendix 3 (Location) the area around the proposed development is mostly (if not entirely) built up. There is unlikely to be any further Residential Development such as this in the immediate area.

Most development these days in Camperdown occurs over the N3 highway and is largely Light Industrial. These will not be affected by the Residential Development. However, these Light Industry sites that will begin coming on line in the near future will have people looking to live in the Camperdown area. Therefore this development will be a positive impact to Camperdown in providing much needed Residential space to absorb the incoming residents.

Mkhambathini has identified other areas for residential expansion, but it is unclear at this stage when this is likely to occur. This development has been in the making for some time and is urgently required by Mkhambathini who would like to see this development progress.

The development will be a positive one for the Mkhambathini Municipality.

### 5.4 IMPACT ON LAND USES OR EXISTING RIGHTS IN THE VICINITY

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The property will generate traffic and these have largely been explained in the Traffic Impact Statement provided. Since the development is to be a Residential one, it will be in keeping with the surrounding Residential qualities neighbourhood.

In terms of impact on services the District Municipality is able to provide 23 500l/day to the site and the site will implement a Septic Tank and Soak-Away system which is acknowledged by the District Municipality.

Eskom does indicate that there is a connection point in proximity to the development, but there is no guarantee of supply. The developer intends to greatly supplement power provision to the site by alternative energy methods and keep any impact on the grid to a minimum and not to be reliant on Eskom. This will be to the benefit of the eventual owners within the development and the surrounding residents in the neighbourhood.

## 5.5 POTENTIAL IMPACT ON THE ENVIRONMENT

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Environmental authorisation in terms of listing notices published in the Environmental Impact Assessment (EIA) Regulations (GN R 543 -546 of 18 June 2010) made under the National Environmental Management Act, 1998 (No 107 of 1998) (NEMA) is unlikely to be required as the property is in a long established urban area.

## 5.6 POTENTIAL IMPACT ON CULTURAL HERITAGE

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There seems to be no cultural heritage aspect to the site as it is vacant and was to be developed in the past via subdivision.

## 6. POLICY MERITS OF THE PROPOSED SCHEME AMENDMENT

### 6.1 MKHAMBATHINI INTEGRATED DEVELOPMENT PLAN DRAFT 2022/23 (IDP) UHLELO LENTUTHUKO EDIDIYELWE

#### THE GOALS AND KEY OBJECTIVES OF THE MKHAMBATHINI MUNICIPALITY'S IDP ARE AS FOLLOWS:

- To create of a Newtown that promotes local economic development.
- To prioritize the municipality's catalytic projects which focuses on the wastewater treatment works.
- To strengthen intergovernmental relations to ensure the resuscitation of the railway network, accelerating the interchange upgrade programme and augment the water storage facility.
- To develop the municipality's public transport network.
- To ensure provision of socio-economic infrastructure that provides for a full range of housing types, educational facilities, health facilities. Pg. 35

**The proposal aligns with the provision of socio-economic infrastructure providing for a full range of housing types. The development itself has a mix of 5 unit styles and types which provides a variety of housing opportunity within the same locale. This enables a fairly broad spectrum of potential homeowners to purchase the property that suits their financial situation.**

#### CROSS CUTTING ISSUES

Development of schemes and unlocking of municipal land.

#### Pillar 2: Basic service delivery

- To ensure strategic development and management of the municipality's Integrated Development Plan
- To facilitate spatial development in the entire area of Mkhambathini Municipality CC2
- To promote effective and efficient building control services CC3
- To enhance public safety control mechanisms CC4
- To provide support on disaster management services CC5
- To ensure integrated housing development within the municipality CC6
- To facilitate the development of the New Town Development Pg. 41.

**The application is one of the methods of integrated housing development and will be governed by the effective building control services.**

#### COVID 19 LOCKDOWN

On the 23 March 2020, the President further announced the 21 days of nation-wide lockdown. Subsequently, the Regulations in terms of National Disaster Management Act, No. 57 of 2002 and several Covid -19 regulation circulars were issued. These came with measures among which included, confining people in their place of residence unless they perform essential service, obtaining an essential service or goods, collecting social grants, or performing other essential activities.

These and many other restrictions and conditions aimed to restrict the spread of Covid-19 pandemic has resulted in sudden loss of income for the Mkhambathini businesses and individual community members, deepening poverty, and hunger. Rural areas within Mkhambathini who already endure a high rate of unemployment and poverty, the resulted negative impact is going to be unbearable.

It is upon this background that; the Mkhambathini Local Municipality seeks to accede to the call that a socio-economic recovery plan be developed to mitigate the impact of Covid-19 to our local businesses which is largely dominated by informal sector, and to our community, especially the vulnerable community members.

- To create strategies to help our business community, more especially the informal traders, SMMEs, retail stores, spaza shops and the Mkhambathini residents during and after the COVID-19 pandemic
- To develop immediate response action plan for socio-economic recovery as a short- term intervention
- To develop a comprehensive medium for long term socio – economic recovery plan, informed by a thorough assessment of the COVID-19 impact, and scientific data on viable economic sectors. Pg. 42.

**The proposal will assist in providing temporary employment for contractors and their employees as well as maintenance contractors from time to time. Once constructed there is likely to be permanent and temporary employment for domestic staff.**

#### **INEFFICIENT SPATIAL STRUCTURE**

The spatial structure of Mkhambathini Municipality is grossly inefficient with most poor and low-income people being resident in remote, distant and badly located areas in the northern and southern tips of the area. The middle part where the N3 runs and Camperdown is located is dominated by commercial farm. This makes Camperdown, which is the main economic center inaccessible to most of the population it should serve. Pg. 58.

**The proposal is ideally located in Camperdown Town and has easy access to the Town Centre and access to transport routes.**

#### **THE ROLE OF THE N3 NATIONAL ROUTE**

The N3 runs east to west through the central part of the municipal area. It is the busiest corridor in the province and a major link between the national industrial hubs of Johannesburg and Durban. It can be considered as the primary route within the area. This route is, however, largely a movement corridor between the dominant urban areas. Due to the high volumes of traffic along this road, and the fact that it is largely being utilised as a main route by trucks and other freight vehicles, may opportunities exist for development that can capitalise on the existence of this route. Due to the limited access nature of this road, opportunity exist at key intersections or off-ramps along its route, of which two occurs within the study area. Pg. 169.

The N3 corridor (identified as a Provincial Corridor in the PGDS) that runs through the municipality provides opportunities linked to the Provincial corridor development. Mkhambathini is located along the N3 Primary Corridor and between the only primary node in the province (eThekweni) and the

secondary node of Pietermaritzburg. The N3 highway is the most strategically important route, cutting through the northern portion of the municipality in an east-west direction. The potential strategic impact of the corridor is seen as essential for the economic future growth of the municipality. Not only does the N3 route provide access to the only formalized town (Camperdown) within the municipality, but it also plays a significant role in the municipality tourism development potential and continued capacity for agricultural production and distribution.

Mkhambathini recognizes the significance of the N3 as a National/Provincial corridor, and the opportunities it creates for the municipality as it identified as the main feeder and/or access. It provides an opportunity for growth and development for the Mkhambathini Municipal Area. As the main transportation conduit, it links the Municipality to the Metropolitan area of eThekweni as well as the economic powerhouse of Gauteng. The N3 function is greater than a Primary Corridor and its main functions should be sustained. Development immediately adjoining on either side of this corridor should be a variety of industrial and mixed-use commercial and be visually attractive when observed from the N3. This has led to increasing interest in logistics and warehousing related industries wanting to position themselves near Umlaas Road. The private market interest in the area is reiterated within national corridor development initiatives such as the Strategic Infrastructure Projects. Pg. 173.

**This route has certainly been taken advantage of by the Municipality with the release of large portions of Agricultural land earmarked for Industrial Development. With this comes the expansion of the town as investors and business vie for the most suitable properties for development. This in turn generates employees who will need to find residence in the Town or as close to the Town as possible. This development is already needed according to the Mkhambathini Municipality. The requirement for residential space in Camperdown is only going to grow as the Industrial Area and other Economic Developments occur.**

#### **PRIMARY NODE: CAMPERDOWN**

Camperdown has been identified as the primary centers within Mkhambathini Local Municipality. Its role and development are focused on promoting municipality-wide development and re-enforcing integration with the surrounding major urban centers. Other than forming part of set of nodes along the N3 corridor, Camperdown holds the key to future integration of the Greater Pietermaritzburg Functional area and the Durban Unicity area. It accommodates the municipal offices, schools, police station, a hotel bottle store, and a variety of commercial and retail outlets. The “village in the country” atmosphere which is evident in some portions of the area is an important attribute which needs to be conserved and enhanced, particularly as new areas are opened for residential and other development. The node is traversed and separated by the Primary Movement Corridor which is the National Road Route (N3) and to the West it links onto the Primary Corridor Connecting the Municipality to the South Coast (R603) providing a high degree of accessibility. Pg. 169.

**The proposed residential development will compliment Camperdown’s role as the Primary Node in the area. This will support the commercial and retail outlets and since it is located within an urban area with development around it, infill development would have occurred along with a measure of densification. Additional residential components are required in helping Camperdown achieve its future integration between Pietermaritzburg and Durban by supplying housing to an increasing population who will be employed in the area.**

## **MKHAMBATHINI SMALL TOWN DEVELOPMENT**

Mkhambathini Local Municipality (MLM) is a Category B municipality located along the south-eastern boundary of the uMgungundlovu District in KwaZulu-Natal. The municipal area has numerous relative advantages. It is well located on the SIP2 corridor connecting Durban, Free State and Johannesburg and is the only logical link between Durban and Pietermaritzburg which adjoins the industrial node of Cato Ridge. Camperdown within the municipality is seen to be a natural growth area between Pietermaritzburg and the rapidly growing Hillcrest region. The N3, which is identified in the Spatial Growth and Development Strategy as a Provincial Corridor, runs east west through the central part of the municipal area. Significant portions of the municipality fall within the Valley of a Thousand Hills, an area with high potential for eco-tourism, and in the Midlands Mist Belt. Easy access off the N3 highway to Cato Ridge makes it well placed to take the overflow from traditional commercial, industrial, and residential areas, which are either reaching capacity or preclude a growing number of home seekers as a result of the residential price growth evidenced in the last few years in many nearby suburbs. Pg. 174.

### **RESIDENTIAL (Part of Small-Town Development)**

There are opportunities for several residential components that include affordable as well as integrated residential expansion to lifestyle residential components featuring over 2000 family homes that will be planned with the local and provincial government. Pg. 175.

**This application fulfills part of the several residential components that will aid Camperdown's Small Town Development goals.**

## **BROAD LAND USES**

### **URBAN SETTLEMENT**

The areas that are urban include Camperdown, Mid-Illovo and Eston. There is a concentration of commercial land use areas adjacent to the N3. This is expected, as the N3 is a strategic national transport route and the area is located on a stretch between Durban and Pietermaritzburg, with substantial road and rail freight traversing the area. Camperdown is the commercial hub of Mkhambathini Local Municipality. It has a large residential component compared to a relatively small business and retail sector due to the surrounding agricultural potential and poultry farming that consist in the area. Camperdown poses a more relaxed lifestyle on a regional scale outside the rushed city life of Durban and Pietermaritzburg. Pg. 178.

**The application will compliment the existing residential component within the Municipality.**

## **SPATIAL AND ENVIRONMENTAL: SWOT ANALYSIS**

### **STRENGTHS**

- Mkhambathini's strategic location which is the N3 primary corridor. This is essential for future economic growth.
- Mkhambathini has prime agricultural land.
- The municipality has adopted a wall-to-wall scheme in accordance with the SPLUMA, Act 16 of 2013, which guides development and creates investor confidence.

- Two underutilized interchanges on the N3.
- The presence of the main railway line network in parallel to the N3.

**The future economic growth of Camperdown which is ensured by its expansion of areas identified for Light Industry and the recent release of land from the Provisions of Act 70 of 1970. This expansion will need to be accompanied by housing and the proposal provides some of the anticipated requirement.**

#### **WEAKNESSES**

- Location of the Municipality is not being actively marketed.
- Configuration of the municipality.
- There is a declining performance in the agricultural sector and its contribution to the Local economy.
- Badly structured routes at a regional level limit the regional integration within the municipality.
- Most of the land is privately owned which may limit the pace at which the state can deliver the public facilities since the land acquisition processes may sometimes be time consuming.
- Steep terrain limits development within some parts of the municipality especially the CBD expansion towards the north as well as agricultural development in ward 1, 2 and 3.

**The application site is located on flat land and once developed will allow more people to become land owners with and enter the real estate market. This will increase the landownership of the Town rather than it being owned by a single entity.**

#### **OPPORTUNITIES**

- It's achieving more compact cities by maintaining settlement edge in order to discourage development sprawling into prime agricultural land and other natural resource areas.
- Create housing opportunities for the poor in areas that improve access to urban opportunities including employment and access to basic services.
- The tarring of roads will provide transport services access to remote regions.
- Potential to develop and intensify the role of Eston and Ophokweni as secondary nodes.
- The municipality is endowed with relatively good agricultural land and opportunities exists to develop this sector even further with the demarcation of an Agri-hub amongst other things.
- Land claims (restitution) have progressed very well, and this provides opportunities for agrarian reform.
- The possible re-opening of the Umlaas Road railway station to service the industrial area.

**Since the site is located within an established residential area, it certainly helps retain the settlement edge and by virtue of the number of units proposed, aids a scale of compaction. Since it is within Camperdown Town, sprawl is certainly prevented as each side of the development is contained by existing residential components.**

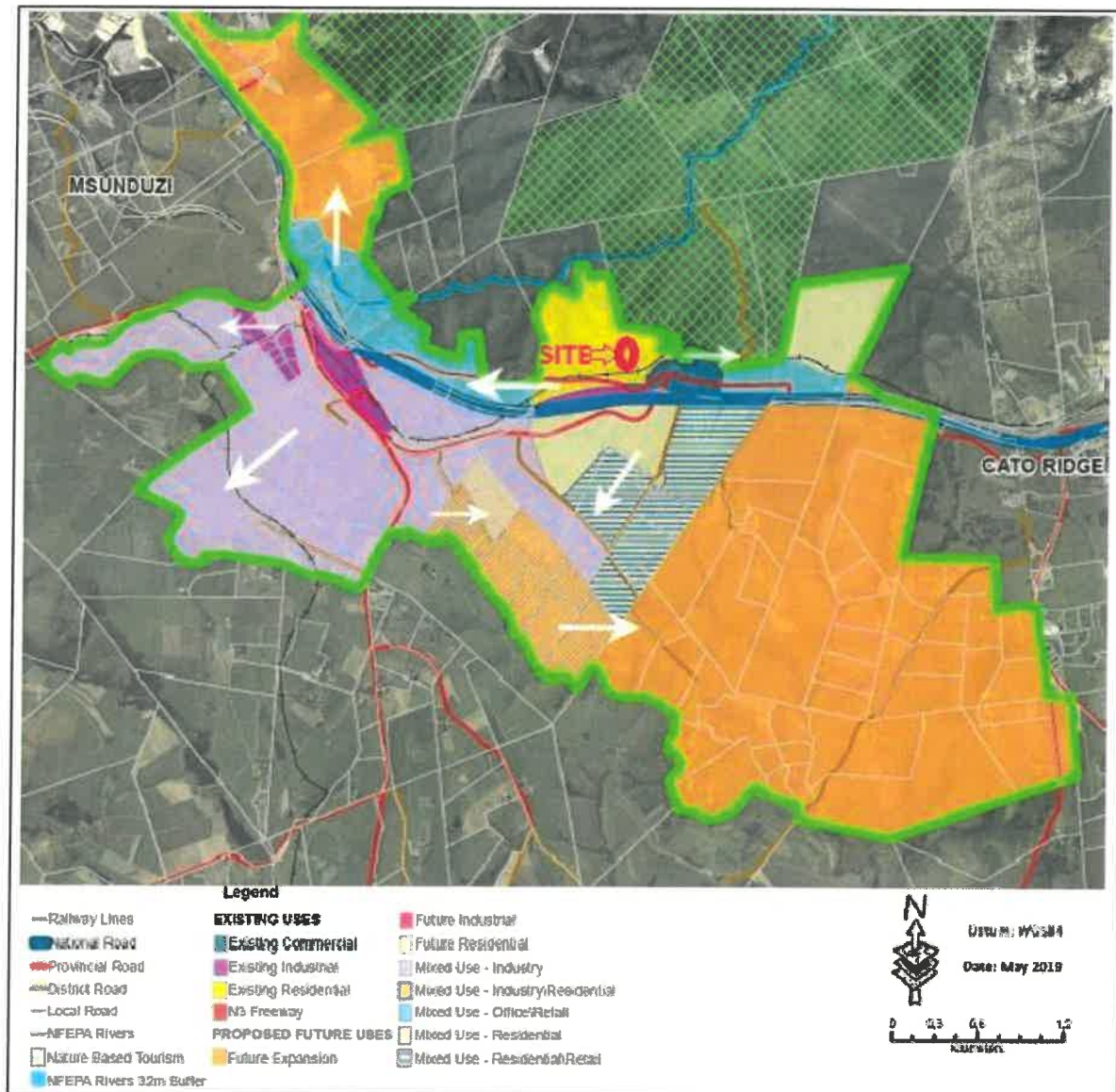
## THREATS

- Encroachment onto agricultural land.
- There is poor settlement planning within the municipality.
- Majority of the municipal road are gravel and roads need to be upgraded and tarred.
- The wrong type of development on prime land.
- Aging infrastructure and lack of augmentation. Pg. 195.

**This site does not encroach onto agricultural land, the settlement is well planned on an existing ROD1300 zoned portion of land. Since the development is a residential one it is in keeping with the surrounding land uses and is the right type of development on prime land.**

## 6.2 MKHAMBATHINI SPATIAL DEVELOPMENT FRAMEWORK (SDF)2019

As seen in the diagram below, the application site is located in the Existing Residential Area of Camperdown.



### FOCUSING DEVELOPMENT IN STRATEGIC NODAL POINTS

The ordering and location of services and facilities, in a manner that promotes accessibility and efficiency in service delivery, is required. This is critical for the performance of the municipal area as a whole and land use integration. As such, the clustering of various activities at appropriate and accessible nodal locations provides the municipality with a network/system of opportunity centres. Some of these nodes have benefited from public and private sector investment in services and infrastructure, which needs to be managed and maintained. Others are located in previously disadvantaged areas, which have suffered from institutionalised neglect. Although the nodes have contrasting characters, profiles and management issues, they cumulatively accommodate the majority of economic activities, employment prospects, an existing/growing residential stock, and access to community facilities and services. As such, the strength and feasibility of the nodal points is directly

linked to the functioning and health of their catchment areas. The concentration of activities in and around these areas will stimulate further development of higher order activities. Pg. 19.

**It is considered that the application plays its part in adding to the existing residential stock of the Municipality and in doing so increases the function of Camperdown catchment. This development is well located with respect to the services Camperdown as a node is able to supply. Adding more (and needed) residential stock will help stimulate further development and also compliment higher order activities.**

## **RURAL-URBAN INTERFACE**

Camperdown is considered as the main urban area in Mkhambathini, although it is surrounded by a generally rural region. Other smaller urban areas, such as Eston, Manderston and Mid-Illovo have different land use characters and are more integrated into the rural character of the municipality. It thus becomes important to focus on managing the form and texture of development in a manner that contributes to the following performance criteria:

- Creating a more efficient and productive sub-region through the development adoption of policies that seeks to build the competitive advantages, while also unlocking new opportunities.
- Improving the overall quality of the urban environment by better integrating environmental concerns within development planning and urban management practices.
- Developing an inclusive spatial system that promotes integration of the previously disparate areas and eliminates the mismatch between where people live and where they work.
- Creating the base for efficiency in the delivery of services (water, electricity, sanitation, etc.), movement, investment and decision-making.
- Promoting integrated and coordinated development with all stakeholders working towards a common development vision and agenda. Pg. 19

**The proposed development and its good location assist in the efficiency of service delivery. Namely, no further extensions to any of the service lines are required in terms of the surrounding infrastructure.**

## **DEVELOPING SUSTAINABLE HUMAN SETTLEMENTS**

The scattered nature of rural settlements within Mkhambathini is not sustainable and renders service delivery and development ineffective. The highest settlement densities are found along main transport routes where a web of local access roads and public facilities holds settlements together. At a regional level, they should be knit together by a system of regional access routes.

However, settlements are not static and respond to change, thus they are continuously transforming. The key challenge is to turn these settlements into sustainable human settlements, which has certain implications for detailed planning and development of these settlements:

- Centrally located settlement should provide improved access to higher order public facilities, intensive agriculture and other urban services.
- They should generate a wide range of opportunities. Sparsely populated settlements are opportunity areas for agricultural development such as crop production and livestock farming.

- A convenient settlement improves the level of choice, encourages creativity and investment while a less convenient settlement imposes a lifestyle on people and results in unnecessary expenses.
- Settlements should be equitable in the sense that they should provide a reasonable access to opportunities and facilities to all. It is neither possible nor desirable for settlements to be homogenous hence an emphasis on choice. Pg. 20.

**The application site certainly accords with the above four points. It is centrally located and provides easy and convenient access to higher order facilities and opportunities.**

### **COMPACT DEVELOPMENT**

More compact settlements areas can be achieved with the maintenance of a settlement edge in order to discourage development sprawling into prime agricultural land and other natural resource areas. The settlement edge can be used to encourage more efficient use of underutilised land existing in a settlement, through development of vacant land or the re-use of 'brownfield' degraded land areas. It can also be used to manage the investment and characteristics of infrastructure levels according to the needs of communities and economic activities located within settlement edges or outside settlement edges. This requires detailed planning at a settlement level and could best be sustained through the coding or integration of the existing community rules into a land use management system. Certainly, the level of compaction will take into account the nature and character of each settlement, as well as the prevailing spatial development trends and patterns. Pg. 22.

**The application site definitely fulfills the ideals of compact development. Existing vacant land within an established residential area is utilized to provide housing development. The range of housing typology provides a range of affordability for potential home owners. The settlement edge is not even encroached upon and the level of compaction is within the bounds of the existing ROD 1300 zone.**

### **MUNICIPAL DEVELOPMENT NODE**

Camperdown is the major residential and commercial centre within the Mkhambathini Municipality. Its role is intended to be one that provides essential goods and services to support the growing economy of the Municipality, and through better service provision. Also advantageous to Camperdown is its location at the focal point of traversing road network comprising of the R603, P369, D234, D409 and D832. To the west of Camperdown is Umlaas Road, which represents the industrial hub of the Mkhambathini Municipality and together with Camperdown, play a significant role in the growth of the municipal economy... Pg. 29.

The following interventions / developments are envisaged within this nodal area:

- Development of commercial activities serving the municipal area and surrounding areas (sub-region).
- Location of facilities and services for effective administration and local governance.
- Transformation of Camperdown from being a low density, low-key village into a modern and dynamic industrial and economic hub.
- Expansion of the town to include Umlaas Road and grow towards Cato Ridge.

- Establishing regional linkages to and from the nodal area as a fundamental part to movement of industrial goods and services.
  - Providing improved regional access to and circulation within the Umlaas Road area and making adequate services available to the future development of the area.
  - Ensuring the investment and promotion of the area is based on thorough investigations and logical planning.
  - Encouraging and promoting market development to determine the mixture of activities and land uses within the broad guidance of the intended strategic node.
  - Promoting an economic development mix, which will contribute to the economic and social upliftment of local communities.
  - Promoting the efficient economic development of the area without negative impacts on surrounding high value agricultural land, environmentally sensitive area as well as the eco-tourism potential of the key areas found within especially the northern portions of the municipality.
  - Providing for a range of housing typologies in close proximity to employment opportunities.
- Pg. 30.

**The application site fulfills a number of these objectives including logical planning, a mix of typology, a range of housing and efficient development.**

#### **URBAN EDGE**

An urban edge is essentially a geographically-based line on a map indicating the edge between land available for urban development (infill and redevelopment) and land that is to remain part of the rural landscape and natural environment. Infill and redevelopment of lands in existing centres reduces the costs associated with infrastructure investments and servicing. It also revitalizes existing commercial centres, creates densities that support transit and neighbourhood shops, and supports economic development by creating clusters of businesses in close proximity. The more that compact settlements can result from containing development within settlement boundaries, the more communities will become transit friendly, walkable and support viable commercial centres and nodes. Pg. 38.

**The site is within the Urban Edge and therefore contributes to the clustering of activities, densities as well as reduces costs associated with infrastructure.**

#### **DENSIFICATION**

The promotion of compact development will mitigate the negative impact of sprawling settlements by encouraging the planning of coordinated, harmonious, sustainable and compact settlements. Growth in peripheral areas is an inevitable process, and needs to be managed in order to facilitate the establishment of planned settlements and to promote sustainable development. Compact development will further contribute to the protection of sensitive environmental and agricultural areas and will ensure effective and efficient social, engineering and other services.

The municipality is seeking to create housing opportunities for the poor in areas that improve access to urban opportunities including employment, access to basic services, etc. This includes the development of sustainable human settlements and ensuring that people live in harmony with the environment. The municipality will to achieve this by:

- Limiting and containing the urban development footprint within the Urban Development Line (urban edge / growth boundary). The application of growth boundaries and other growth management techniques should take due cognizance of the adequacy of supply of land.
- Promoting higher “net” residential densities in strategically located areas within core areas, new growth areas and areas prioritized for infrastructure development.
- Creating new residential development opportunities that connect fragmented areas and consolidate urban form around high accessibility routes and nodes.
- Provide clear guidance on directions for future settlement growth and proposed release of land for development.

Densification is one of the key elements of compact development and a drive towards building an integrated and efficient spatial form. This can be achieved by limiting urban sprawl, by promoting higher densities, infill and re-development in and around the urban areas and other activity nodes and by the promotion of mixed-use activity corridors linking otherwise isolated and non-functional areas with a focus of public transport.

The densification to be adopted are dependent on the spatial context of development, the site-specific characteristics, the capacity of existing infrastructure and what the impact of that development will have on the environment. Within the densification strategy, there has to be a balance between compactness and the retention of significant open space to satisfy other social and environmental needs.

The objectives of densification and compaction are as follows:

- Minimizing/Reducing the Footprint of the built-up areas: Settlement (both rural and urban) transform natural land and alter the ecosystems in which they are located in a magnitude of ways. This in itself warrants a concerted effort to limit the impact on the affected area of land, as well as the ecosystems involved.
- Preventing the Destruction of Agricultural Land: Outward expansion of settlement occurs at the expense of high-value, very well-located agricultural land, in close proximity to urban markets. This resource should be protected from settlement intrusion.
- Improving the Use of Public Transport and Facilitating Pedestrianisation: One of the key means of improving the use of public transport is increasing residential densities in nodes and along public transport corridors, which has major implications for the way in which areas are built and managed. The other is greater integration between the various entities involved in land use and transport planning.
- Improving the Efficiency of Urban Areas: More compact settlements increase general accessibility, the level of convenience with which people can conduct their daily lives and reduces costs in terms of time, money and opportunity cost, both for local government as well as for its citizens. More compact settlements in which infrastructure investment is planned are more efficient than those in which this is not the case.
- Reducing Inequality: One of the objectives of intervening in the form and density of development of settlements is to ensure greater access of all (especially the poor) to the benefits and opportunities of urban living.
- Increasing the marketability of the town: The physical urban environment of the Camperdown node, including the quality and livability, plays a major role in its competitiveness. In addition

to this, the message that potential investors get from a town that seems under control and functions well is that it is well planned and managed in an integrated way. The aim is to ensure a density of development that can facilitate sustainable economic development, job growth and income generation.

- To adhere to legislative directives: A wide range of acts and policies have been brought forward by national government urging local authorities to address the issue of sprawl and urban form. However, in practice, very little has been done to address these legislative directives. Pg. 40

## DENSIFICATION STRATEGIES

The different methods/ strategies for achieving densification can occur through:

- New development on vacant or under-utilized land at higher densities.
- Subdivision of large pieces of land to encourage higher densities.
- Infill development on vacant or underutilized parcels of land at higher densities. A range of infill processes may include transfer of development rights, land swaps, land consolidation, public housing projects and so forth. • Cluster development on large parcels of land through a consolidation process.
- Conversion of existing building (sometimes vacant/derelict) to other uses.
- Allowing additional units to be developed on a single piece of land.
- Redevelopment of poorly functional and underdeveloped areas to encourage and facilitate infill.
- Introduction of a range of housing products/typologies to meet the densification requirements. Pg. 42.

## FOCUS AREAS FOR DENSIFICATION

The focus areas for densification in Mkhambathini should be within identified development nodes, nodal points at public transport interchanges and along certain development corridors.

### Municipal Nodes

Nodes are one of the major structuring elements of cities and towns and can have a major effect on the surrounding area. It is one of the focus areas for private and public sector investment and development and are associated with higher residential densities and also the intensity of all other relevant land uses in that node. Within the local context of the Mkhambathini municipal area, these nodes should be the focus points where densification should be encouraged. As such, densification could potentially be promoted within and in close proximity to the following nodes:

- The municipal development node / primary node, being the Camperdown / Umlaas Road area, which constitutes the main focus of investment and development within the municipality. The main concentration of diverse activities and mixed land uses, availability of existing infrastructure and public transport facilities, are located in this node. Here, vertical and high-density development should be promoted. This will also align to the long-term development vision for the strategic development of this node.

- **Densification of certain rural settlements should also be prompted in general, especially around the local nodal points within these settlements. Pg. 43.**

**The application site definitely accords with the majority of the densification aspects outlined by the SDF within the primary node of Camperdown which is the main area for the focus of investment and development. The design of the development permits a range of people the opportunity to purchase a home in the area.**

#### **MIDDLE INCOME AND UPMARKET HOUSING**

Middle income and up-market housing is undertaken by the private sector in response to an expressed need. However, the municipality can facilitate the delivery of this form of housing through the incorporation of appropriately located land into the land use scheme area and introduction of appropriate zoning. Middle and up-market housing development can also be delivered through infill, redevelopment of derelict sites and as part of the densification programme of the municipality. The scheme will also identify areas for medium density housing. Pg. 52

**The application site has achieved its goal and the mandate of middle and upmarket housing, there are a range of units offered in this development that fulfill this requirement. The land is located appropriately, and can be considered infill development since the piece of land utilized is within the existing urban area of Camperdown and is entirely surrounded by residential development.**

### 6.3 SPLUMA DEVELOPMENT PRINCIPLES

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**The Spatial Planning and Land Use Management Act 16. Of 2013 provides a number of Development Principles. Of these the following have merit and are applicable to the application site.**

- **Redressing past spatial injustices**

The proposed residential development will allow all people the opportunity to purchase a home in the Camperdown including those from previously disadvantaged backgrounds. The application site is located in a previously “white” area and all races are welcome to purchaser and reside therein.

- **The inclusions of persons and areas that were previously excluded from opportunity and receiving basic needs.**

As above, all persons whether from previously disadvantaged and advantaged groups the opportunity to purchase a home in an established and existing residential area. By permitting this application, the owner will have been given the opportunity to provide people previously excluded from the area to acquire property.

- **Promotion of functioning and equitable land markets**

The proposal seeks to permit a Multi-Unit Residential Development which is highly needed in Camperdown too add to the existing residential stock. This will enable additional functionality and equitability to the functioning of the Mkhambathini Land markets, especially since the development proposes a variety of sizes of homes to cater to a broader cross section of the land market.

- **Promotion of development that is sustainable and limits urban sprawl**

This development is certainly following this principle. It is located within an established urban area and makes use of land within. This enables densification and certainly does not promote urban sprawl at all.

- **Viable communities**

The site adds to the viability to the community through the provision of much needed housing stock.

- **Efficient use of infrastructure**

The existing infrastructure is utilized where possible which is efficient. Where this has not been made possible the owner has sought alternative means to make the site more self sufficient and not be reliant on infrastructure that is at capacity or unavailable.

- **Spatial resilience**

Currently, the property is a vacant piece of land and the residential neighbourhood has grown around it. The varied type of unit proposed offers flexibility of purchase within the residential market. This increases the resilience of the development.

- **Good Administration**

Mkhambathini Municipality is well known for its exacting requirements for any application submitted to it. Prompt responses are provided for any additional information sought. The Municipality administers its Town Planning application procedures very well and this is likely to continue.

The SPLUMA Development Principles are shown below for reference to the above statements.

**a. The principle of spatial justice**

- i. Past spatial and other imbalances must be redressed through improved access to and use of land.
- ii. Spatial Development Frameworks and policies at all spheres of government must address the inclusion of persons and areas that were previously excluded, with an emphasis on informal settlement's, former homeland areas and areas characterized by widespread poverty and deprivation.
- iii. Spatial planning mechanisms, including land use schemes, must incorporate provisions that enable redress in access to land by disadvantaged communities and persons.
- iv. Land use management systems must include all areas of a municipality and specifically include provisions that are flexible and appropriate for the management of disadvantaged areas, informal settlements and former homeland areas.
- v. Land development procedures must include provisions that accommodate access to secure tenure and the incremental upgrading of informal areas.
- vi. A Municipal Planning Tribunal considering an application before it, may not be impeded or restricted in the exercise of its discretion solely on the ground that the value of land or property is affected by the outcome of the application.

**b. The principle of spatial sustainability, whereby spatial planning and land use management systems must:**

- i. Promote land development that is within the fiscal, institutional and administrative means of the Republic.
- ii. Ensure that special consideration is given to the protection of Prime and unique agricultural land.
- iii. Uphold consistency of land use measures in accordance with environmental management instruments.
- iv. Promote and stimulate the effective and equitable functioning of land markets.
- v. Consider all current and future costs to all parties for the provision of infrastructure and social services in land developments.
- vi. Promote land development in locations that are sustainable and limit urban sprawl; and
- vii. Result in communities that are viable.

**c. The principle of efficiency**

- i. Land development optimizes the use of existing resources and infrastructure.
- ii. Decision making procedures are designed to minimize negative financial, social, economic or environmental impacts; and

- iii. Development application procedures are efficient and streamlines and timeframes are adhered to by all parties.

**d. The principle of spatial resilience,**

Whereby flexibility in spatial plans, policies and land use management systems are accommodated to ensure sustainable livelihoods in communities most likely to suffer the impacts of economic and environmental shocks

**e. The principle of good administration**

- i. All spheres of government ensure an integrated approach to land use and land development that is guided by the spatial planning and land use management systems embodied in this Act.
- ii. All government departments must provide their sector inputs and comply with any other prescribed requirements during the preparation or amendment of spatial frameworks.
- iii. The requirements of any law relating to land development and land use are met timeously.
- iv. The preparation and amendment of spatial plans, policies and land use schemes as well as procedures for development applications include transparent processes of public participation that afford all parties the opportunity to provide inputs on matters affecting them.
- v. Policies, legislation and procedures must be set in order to inform and empower members of the public.

#### 6.4 PRINCIPLES OF THE DEVELOPMENT AND FACILITATION ACT

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"Chapter 1 of the DFA sets out a number of principles which apply to all land development. The following principles would apply to the formulation and content of a Spatial Development Framework.

a. Policies, administrative practice and laws should:

- I. provide for urban and rural land development;
- II. facilitate the development of formal and informal, existing and new settlements;
- III. discourage the illegal occupation of land, with due recognition of informal land development processes;
- IV. promote speedy land development;
- V. promote efficient and integrated land development in that they:
  - promote the integration of the social, economic, institutional and physical aspects of land development;
  - promote integrated land development in rural and urban areas in support of each other;
  - promote the availability of residential and employment opportunities in close proximity to or integrated with each other;
  - optimize the use of existing resources including such resources relating to agriculture, land, minerals, bulk infrastructure, roads, transportation and social facilities;
  - promote a diverse combination of land uses, also at the level of individual erven or subdivisions of land;
  - discourage the phenomenon of "urban sprawl" in urban areas and contribute to the development of more compact towns and cities;
  - contribute to the correction of the historically distorted spatial patterns of settlement in the Republic and to the optimum use of existing infrastructure in excess of current needs; and
  - encourage environmentally sustainable land development practices and processes.

e. Each proposed land development area should be judged on its own merits and no particular use of land, such as residential, commercial, conservational, industrial, community facility, mining, agricultural or public use, should in advance or in general be regarded as being less important or desirable than any other use of land.

f. Land development should result in security of tenure, provide for the widest possible range of tenure alternatives, including individual and communal tenure, and in cases where land development takes the form of upgrading an existing settlement, not deprive beneficial occupiers of homes or land or, where it is necessary for land or homes occupied by them to be utilized for other purposes, their interests in such land or homes should be reasonably accommodated in some other manner."

**The application site certainly accords with a number of the DFA principles.**

## 7. CONCLUSION

The merits of this application have been itemised throughout this report. The development is a straightforward Multi Unit Development in keeping with the parameters of the Residential Only Detached 1300 zone. All components of the Scheme controls have been adhered to in terms of use, Coverage, FAR, Height, number of units internal roads and so forth. The property is located within an existing residential area of Camperdown and is entirely surrounded by residences. This is the last portion of land of this size in this residential neighbourhood.

The development is supported by the Mkhambathini Integrated Development Plan and Spatial Development Framework and is sought after by Mkhambathini Municipality.

In terms of Geotechnical considerations, and traffic, the site is suitable. The surrounding road The land can support the development of the 45 units and the road network has capacity to absorb the traffic generated by the development.

Water is available to the site and Sanitation will be on site. While power may or may not be an issue, the Developer will supplement the electricity generation with alternative methods and will therefore not be a burden on the existing grid.

All items of the Mkhambathini Municipal Assessment of the application have been fulfilled. The Roads will be rezoned to Residential Only Detached 1300 and will be closed. Internal private roads of adequate width will service the development. The relevant SG Diagrams will be withdrawn from the Office of the Surveyor General and the area required for Road Widening off Alfred Storm Street will be donated to the Municipality who will undertake the subdivision procedure at a later date.

The development is needed in the area and provides a range of housing opportunities for all members of the public including the previously disadvantaged groups. The land which has lain vacant for a number of years will finally be utilised and developed appropriately. The Mkhambathini Municipality will then benefit from 45 additional rate payers in due course.

Temporary employment will be created during the construction phase and further longer term opportunities will no doubt become available with domestic help and maintenance contractors.

**We request that the application to:**

- a. Consent to permit Medium Density Housing on Remainder of Erf 10 Camperdown being in the Residential Only Detached 1300m<sup>2</sup> Zone.**
- b. Permit Outbuildings being a Security Gatehouse, Workshop and Bin Area and permit these in front of the Building Line.**
- c. Rezone the Internal Roads of the development from "Road" to "Residential Only Detached 1300m<sup>2</sup>".**
- d. Road Closure of the Internal Roads located within Remainder of Erf 10 Camperdown**

- e. Withdrawal and Cancellation of General Plan with SG Number 1746/2007 and SG Diagram Number 2124/1988.**
- f. Donation of the Road Widening Area along Alfred Storm Street to the Mkhambathini Municipality of approx. 9.00m wide with an area of 1670.00m<sup>2</sup> (formerly known as Portion 403 (of 21) of Remainder of Erf 10 Camperdown).**
- g. Phasing of the Development over 4 Phases as per the diagram by C.Y. Baily – Designs Inc. Drawing No. 21/10/02 Rev A Dated September 2021.**

**Be Approved.**

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**Prepared by: SIMON PLUNKETT**

*Pr.Pl n A/1983/2014*



**Mkhambathini  
Municipality**  
For the Community

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**TECHNICAL SERVICES DEPARTMENT**

**APPLICATION FORM**

APPLICATION I.T.O. THE SPATIAL PLANNING AND LAND USE MANAGEMENT ACT, 2013 (ACT NO. 16 OF 2013)

**OFFICIAL USE**

APPLICATION NO.:	APPROVED <input type="checkbox"/>	CONDITIONS <input type="checkbox"/>
DATE RECEIVED:		NO CONDITIONS <input type="checkbox"/>
RECEIVED BY:	REFUSED <input type="checkbox"/>	
FEES PAID:	APPEAL <input type="checkbox"/>	DISMISSED <input type="checkbox"/>
RECEIPT NO.:		UPHELD (/ PARTLY) <input type="checkbox"/>
	LAPSED <input type="checkbox"/>	
NOTES:		

**1. INSTRUCTIONS**

See Schedule 1

**2. APPLICATION TYPE**

<input checked="" type="checkbox"/>	Amendment of a scheme
<input checked="" type="checkbox"/>	Consent in terms of a scheme
	Cancellation of consent in terms of a scheme
	Subdivision of land
	Consolidation of land
	Development situated outside the area of a scheme
<input checked="" type="checkbox"/>	Phasing of approved layout plan
	Cancellation of approved layout plan
	Alteration, suspension and deletion of condition of title relating to land
	Alteration, suspension and deletion of condition of approval relating to land
<input checked="" type="checkbox"/>	Closure of municipal road
	Closure of public place

**3. SHORT DESCRIPTION OF THE PURPOSE OF THIS APPLICATION**

CONSENT FOR MEDIUM DENSITY HOUSING OF 45 UNITS  
REZONING OF ROADS & ROAD CLOSURES, PHASING OF DEVELOPMENT  
RELAXATION OF BUILDING LINES, DONATION OF LAND

*BP*

#### 4. APPLICANT DETAILS, DOCUMENTS, MAPS AND MOTIVATION

##### SECTION A: APPLICANT DETAILS

###### APPLICANT:

(1) Name:	SIMON PLUNKETT
Tel No.:	-
Cell No:	071 679 7983
Fax No:	-
Email:	simon@plunkett.co.za
Postal Address:	PO BOX 197 HILTON KZN 3245

###### REGISTERED OWNER:

(2) Name:	AMBER PRODUCTIONS 1cc CK2007/043395/23
Tel No.:	-
Cell No:	082 772 2937
Fax No:	-
Email:	amberproductions1@gmail.com
Postal Address:	PO BOX 101 186

##### SECTION B: PROPERTY

(1) Deed number	T 004777/2012
(2) Registered property description (Farm name and number/ Erf number)	REMAINDER OF ERF 10 CAMPERDOWN
(3) Physical address of the property	OFF SCOTT / VICTORIA STREET
(3) Municipality	MKHAMBATHINI

##### SECTION C: GENERAL DOCUMENTATION

X	ANNEX	Certified copy of the deed
X	ANNEX	Certified copy of the resolution by the Board of Directors, if the applicant is a company
X	ANNEX	Registered owner's written consent, if the applicant is not the registered owner of the property
X	ANNEX	Consent, name and contact details of the bondholder, if any
X	ANNEX	Deed of servitude that maybe affected by the application

FP

**SECTION D: PLANS****ALL APPLICATIONS**

X	PLAN	Locality plan showing the location of the property in relation to the surrounding properties and streets (existing property lot numbers and street names must be indicated). If in close proximity to a national or provincial road or intersection, indicate distance from road or intersection
X	PLAN	Copy of the Surveyor General diagram or relevant part of the general plan

**ALL APPLICATIONS, EXCEPT ALTERATION, SUSPENSION, AND DELETION OF RESTRICTIVE CONDITIONS OR TITLE OR CONDITIONS OF APPROVAL RELATING TO LAND**

X	PLAN	Site development plan (to scale) showing existing and proposed buildings, bulk factors, access to the site, parking, common areas, building lines, and other matters which the municipality must consider
NA	PLAN	Landscape plan
X	PLAN	Copy of the floor plan

**SCHEMES**

X	PLAN	Copy of scheme map showing the existing zoning of the property and properties in close proximity
X	PLAN	To scale drawing showing the existing land use of the property and land use of properties in close proximity
X	PLAN	To scale drawing showing the proposed zoning of the property and properties in close proximity
X	PLAN	To scale drawing showing the proposed consent use of the property and land use of properties in close proximity
X	PLAN	Copy of the floor plan

**SUBDIVISION OR CONSOLIDATION OF LAND**

NA	PLAN	To scale layout, showing: <ul style="list-style-type: none"> <li>- Existing buildings</li> <li>- Erven or farms adjoining the proposed subdivision or consolidation</li> <li>- Proposed subdivision with subdivision numbers designated by the SG's Office, width and length of hatched shaped erven, erf frontages, minimum subdivision sizes for each erf</li> <li>- Contours</li> <li>- 1:100 year floodlines</li> <li>- High-water mark of the sea and the admiralty reserve</li> <li>- Existing and proposed servitudes, servitudes which require deletion and unregistered services servitudes</li> <li>- Engineering services</li> </ul>
NA	PLAN	Slope analysis, if steeper than 1:3, demonstrating how access will be achieved and showing buildable area

# **DEVELOPMENT OF LAND SITUATED OUTSIDE AREA OF SCHEME**

NA	PLAN	To scale layout, showing: <ul style="list-style-type: none"> <li>- Existing buildings</li> <li>- Location of new buildings</li> <li>- Erven adjoining the proposed development</li> <li>- Contours</li> <li>- 1:100 year floodlines</li> <li>- High-water mark of the sea and the admiralty reserve</li> <li>- Existing and proposed servitudes, servitudes which require deletion and unregistered services servitudes</li> <li>- Engineering services</li> </ul>	
NA	PLAN	Slope analysis, if steeper than 1:3, demonstrating how access will be achieved and showing buildable area	

## **PHASING OF APPROVED LAYOUT**

X	PLAN	To scale drawing showing the proposed phasing of the approved layout	
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## **CANCELLATION OF APPROVED LAYOUT**

NA	PLAN	To scale layout or part thereof to be cancelled	
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## **PERMANENT CLOSURE OF MUNICIPAL ROAD OR PUBLIC PLACE**

X	PLAN	To scale drawing showing the municipal road or part thereof to be closed or public place to be closed	
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## **SECTION D: WRITTEN MOTIVATION**

A memorandum in support of the application, as contemplated in sections 12, 25, 42, 64 and 73 of the Act, setting out all relevant facts, circumstances, and matters which a municipality must consider.

## **ALL APPLICATIONS**

X	ANNEX	General motivation	
NA	ANNEX	Approval of the Department of Agriculture and Environmental Affairs in terms of the Environmental Impact Assessment Regulations, 2006 (Notice No.385 of 2006)	
NA	ANNEX	Approval of the Department of Environmental Affairs and Tourism in terms of section 65 of the National Environment Management: Integrated Coastal Management Act, 2008 (Act No. 24 of 2008)	
X	ANNEX	Socio-economic conditions	
NA	ANNEX	Approval of the Amafa aKwaZulu-Natali Heritage Council in terms of the KwaZulu-Natal Heritage Act, 2008 (Act No. 4 of 2008)	

SA

X	ANNEX	Existing and proposed developments in close proximity, including long term leases by the Ingonyama Trust
NA	ANNEX	Approval of the Department of Minerals and Energy Affairs in terms of the Mineral and Petroleum Resources Development Act, (Act No. 28 of 2002)
X	ANNEX	Principles of the Development Facilitation Act, 1995 (Act No. 67 of 1995)
NA	ANNEX	Provincial Planning and Development Norms and Standards
X	ANNEX	The Municipality's Integrated Development Plan
X	ANNEX	Any other relevant information (including items that are not listed as matters that must be considered for all applications)

**ALL APPLICATIONS WITHIN A SCHEME**

X	ANNEX	The scheme
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**APPLICATION FOR THE AMENDMENT OF A SCHEME, SUBDIVISION OR CONSOLIDATION OF LAND OF LAND AND DEVELOPMENT OF LAND SITUATED OUTSIDE THE AREA OF A SCHEME**

X	ANNEX	Comment by the local municipality on the provision of engineering services
X	ANNEX	Comment by the district municipality on the provision of engineering services
X	ANNEX	Approval of the KwaZulu-Natal Department of Transport in terms of the Provincial Roads Act, 2001 (Act No. 4 of 2001)
NA	ANNEX	Taxi routes from the KwaZulu-Natal Department of Transport
NA	ANNEX	Approval of the South African National Roads Authority in terms of the South African National Roads Agency Limited and National Roads Act, 1998 (Act No. 7 of 1998)
X	ANNEX	Eskom
NA	ANNEX	Water Board
NA	ANNEX	Telkom SA
NA	ANNEX	KwaZulu-Natal Department of Community Safety and Liaison
NA	ANNEX	KwaZulu-Natal Department of Health for hospitals and clinics
NA	ANNEX	KwaZulu-Natal Department of Education for schools and crèches
NA	ANNEX	KwaZulu-Natal Department of Arts and Culture for libraries
NA	ANNEX	KwaZulu-Natal Department of Public Works for government buildings and extension to government buildings, including hospitals, clinics and schools

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MA	ANNEX	Proof of informing the Land Claims Commissioner for KwaZulu-Natal in terms of section 11(aA) of the Restitution of Land Right Act, 1994 (Act No. 22 of 1994)	
MA	ANNEX	Approval of the National Department of Agriculture, Forestry and Fisheries for the extension of a scheme over agricultural land and the subdivision of agricultural land in terms of the Subdivision of Agricultural Land Act, 1970 (Act No. 70 of 1970)	
MA	ANNEX	Approval of the MEC for Agriculture, Environmental Affairs and Rural Development in terms of the National Environmental Management: Biodiversity Act, 2004 (Act No. 10 of 2004)	
X	ANNEX	Geotechnical report	
MA	ANNEX	Approval of the National Department of Water Affairs where a river, water course or wetland traverses the property to be developed.	

#### APPLICATION FOR AMENDMENT OF SCHEME

MA	ANNEX	Possible compensation if amendment to scheme is approved	
MA	ANNEX	Approval from Transnet in terms of section 13 of the Legal Succession to the South African Transport Services Act, 1989 (Act No. 9 of 1989)	

#### APPLICATION FOR THE PERMANENT CLOSURE OF A MUNICIPAL ROAD OR PUBLIC PLACE

MA	ANNEX	Closure of a proclaimed conservation area	
MA	ANNEX	Approval of the MEC for Agriculture, Environmental Affairs and Rural Development in terms of the National Environmental Management: Biodiversity Act, 2004 (Act No. 10 of 2004)	

#### SECTION I: DECLARATION

I hereby certify that the information supplied by me, including the documents attached to this application form is correct.

Signature of Applicant

: Simon Plunket SIMON PLUNKET

Date

: 26/08/2022

JP

**POWER OF ATTORNEY**


I, **MR. N. TYLER** as representative of **AMBER PRODUCTIONS 1CC CK2007/043395/23**  
being the owner of **REMAINDER OF ERF 10 CAMPERDOWN** hereby confirm that any and all  
documentation and applications lodged in terms of

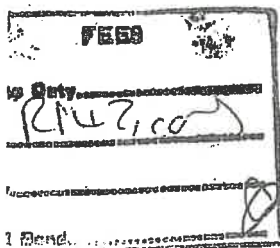
**THE SPATIAL PLANNING AND LAND USE MANAGEMENT ACT No 16 OF 2013 MKHAMBATHINI BY-  
LAW AND ANY OTHER APPLICABLE LEGISLATION**

by **SIMON PLUNKETT**  
**Pr.Pln A / 1983 / 2014**

is made with my knowledge and consent

Signed at: Howick on this 28 day of July 2022

  
\_\_\_\_\_  
**MR. N. TYLER**



BC 14881-22

2022-06-01

Consent

Prepared by me

Conveyancer  
SIMPHIWE MARCUS  
MAPHUMULO

I, the undersigned,

**KIEREN SHARPLEY**

in my capacity as Manager: Business Support, Rescue & Recoveries, Personal and Business Banking Credit, a division of The Standard Bank of South Africa Limited ("the Bank"), is hereby authorised on behalf of the Bank to do any and all the following:

The Standard Bank of South Africa Limited  
Registration Number 1962/000738/06

the legal holder of the under-mentioned Mortgage Bond, namely-

Number **B18377/2013**

Passed By **AMBER PRODUCTIONS 1 CC**  
**Registration Number CK2007/043395/23**


In favour of **THE STANDARD BANK OF SOUTH AFRICA LIMITED**  
**Registration Number 1962/000738/06**

For the Sum of **R 2 500 000,00 (Two Million Five Hundred Thousand Rand)**  
**together with an additional sum of**  
**R625 00,00 (Six Hundred and Twenty Five Thousand Rand)**  
**to cover contingent costs**

Do hereby consent to the cancellation of the abovementioned mortgage bond.

DATED at **Durban** on this **25<sup>th</sup>** day of **April** **2022**.

AS WITNESSES

1. 

2. 



7

86

**BOND STATEMENT**

I, **MR. N. TYLER** as representative of **AMBER PRODUCTIONS 1CC CK2007/043395/23**  
being the owner of **REMAINDER OF ERF 10 CAMPERDOWN** hereby confirm that there is no Mortgage  
Bond held over the above said property.

Signed at: Howick on this 23 day of July 2022



**MR. N. TYLER**

87

**Certificate issued by the Registrar of Companies & Close Corporations on Friday, March 02, 2007 08:44**

**Certificate of Incorporation**



COMPANIES AND INTELLECTUAL  
PROPERTY REGISTRATION OFFICE

a member of the sdi group

Registration number 2007 / 043395 / 23

Enterprise Name AMBER PRODUCTIONS 1

Enterprise Shortened Name None provided.

Enterprise Translated Name None provided.

Registration Date 02/03/2007

Business Start Date 02/03/2007

Enterprise Type Close Corporation

Enterprise Status In Business

Financial Year End September

Tax Number Not available.

Number of Members 1

Aggregate Members' Contribution R 100.00

Description of Principal Business ROPEY DEVELOPMENT AND ASSET MANAGEMENT IN GENERAL

Postal Address PO BOX 928  
PINETOWN  
3610

Address of registered office 7 LEEDS CRESCENT  
PINETOWN  
3610

Accounting Officer

Name DM SANDERSON

Postal Address 20 BLENHEIM ROAD  
PINETOWN  
3610

Profession Chartered Accountants

Membership/Practice No 650977

**Active Members**

Surname and first names	ID number or date of birth	Contrib. (R)	Interest (%)	Appoint-ment date	Addresses
TYLER, NEVIL EARDLEY	5506045172088	100.00	100.00	02/03/2007	Postal: PO BOX 928, PINETOWN, 3610 Residential: 20 FLODDEN CRESCENT, PINETOWN, 3610



COMPANIES AND INTELLECTUAL PROPERTY REGISTRATION OFFICE

Registrar of Companies & Close Corporations

P.O. BOX 429 PRETORIA 0001, Republic of South Africa. Drexel 256, PRETORIA

Call Centre Tel 086 184 1384, Website www.cipro.co.za WAP www.cipro.co.za mobile

### RESOLUTION

It has been decided by the signatures hereto, that the members of **AMBER PRODUCTIONS 1CC CK2007/043395/23** being the owner of **REMAINDER OF ERF 10 CAMPERDOWN** hereby nominate **MR. N. TYLER** as its representative of **AMBER PRODUCTIONS 1CC CK2007/043395/23** to have the authority to carry out all necessary requirements of the above mentioned property in terms of the

**THE SPATIAL PLANNING AND LAND USE MANAGEMENT ACT No 16 OF 2013 MKHAMBATHINI BY-LAW AND ANY OTHER APPLICABLE LEGISLATION**

Signed at: Howick on this 23 day of July 2022

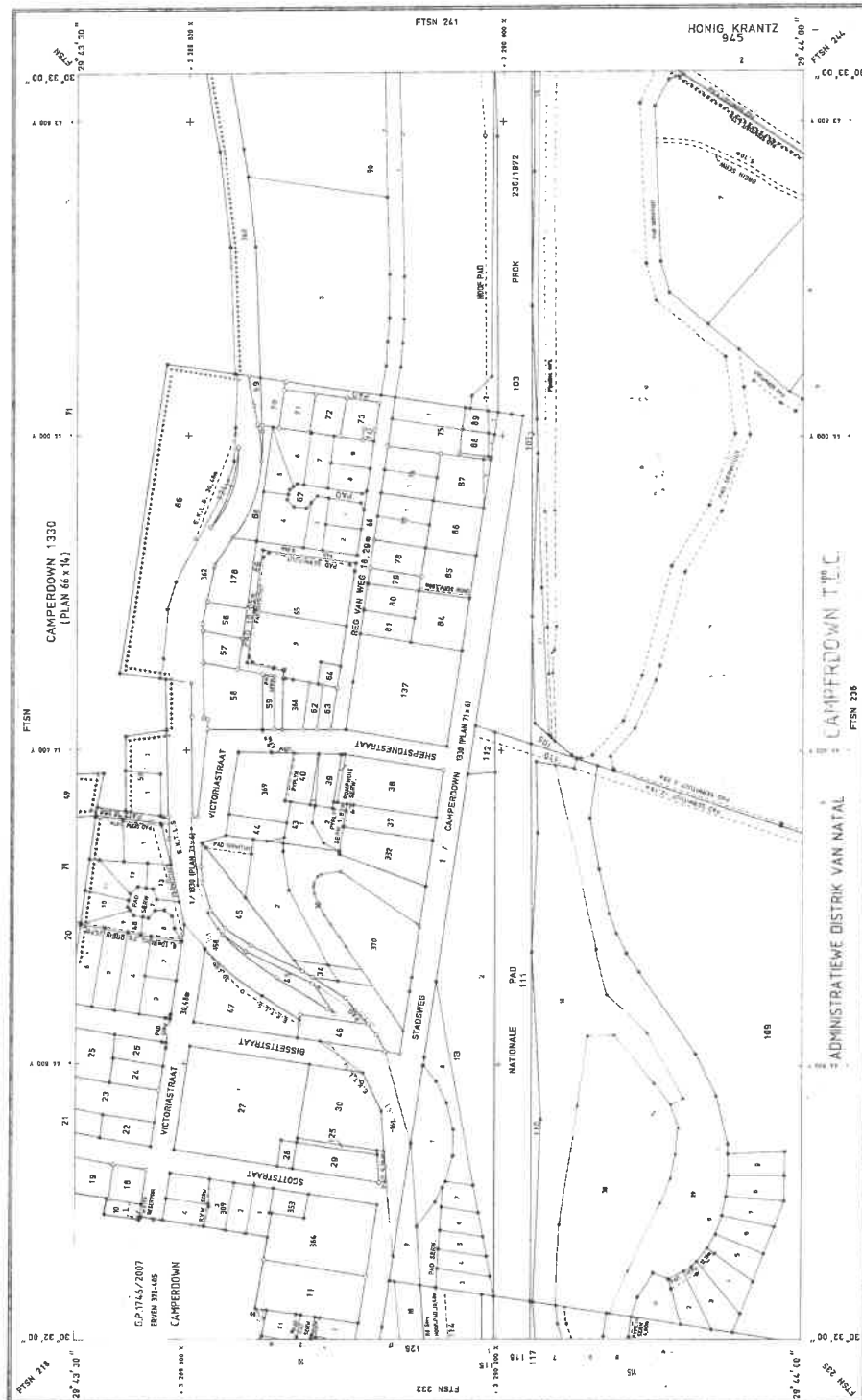


NEVIL TYLER.

1 : 2000

5

FTSN 233



SAAMGESTEL DEUR ODE HOOFDINSTEUR VAN OPRIETINGS EN KARTERING  
ORIENTEERINGSHOOFD NO. 2930 1988 01 27 D

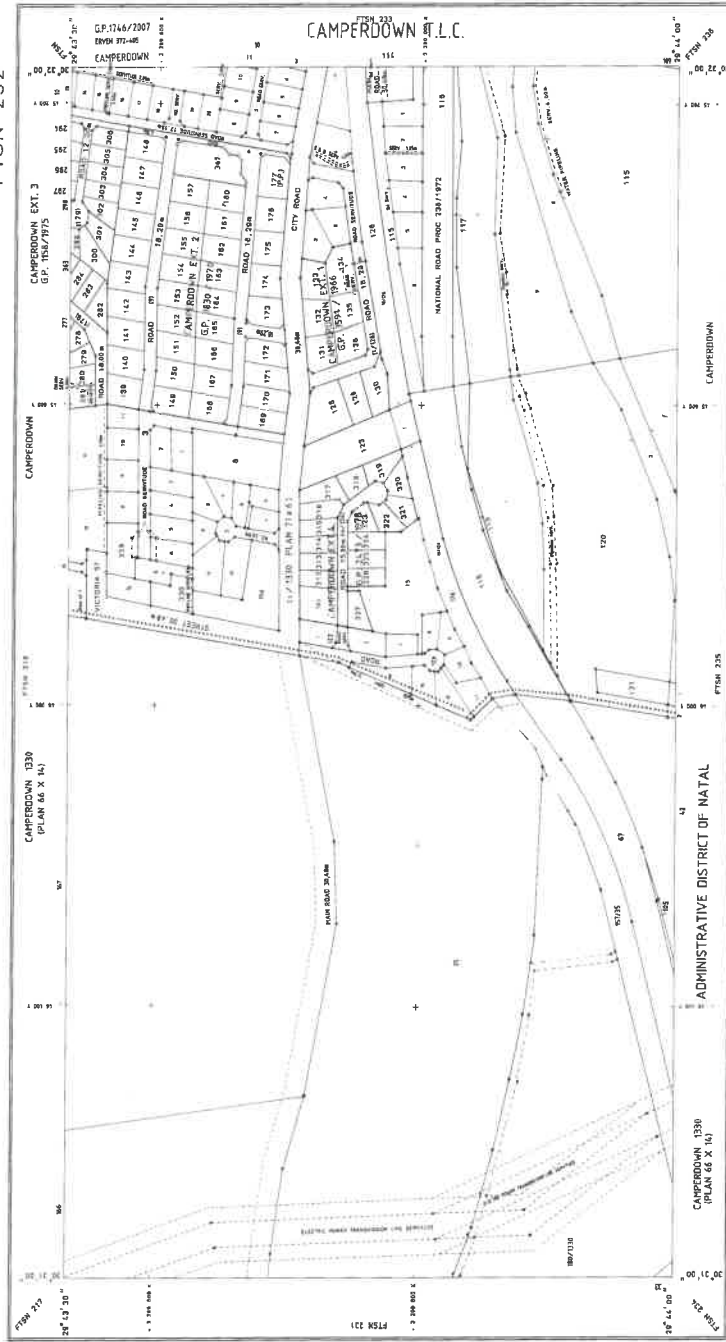
COMPLIANT BY 11, 1990 by J. HAVES  
FTSN 233

20

90

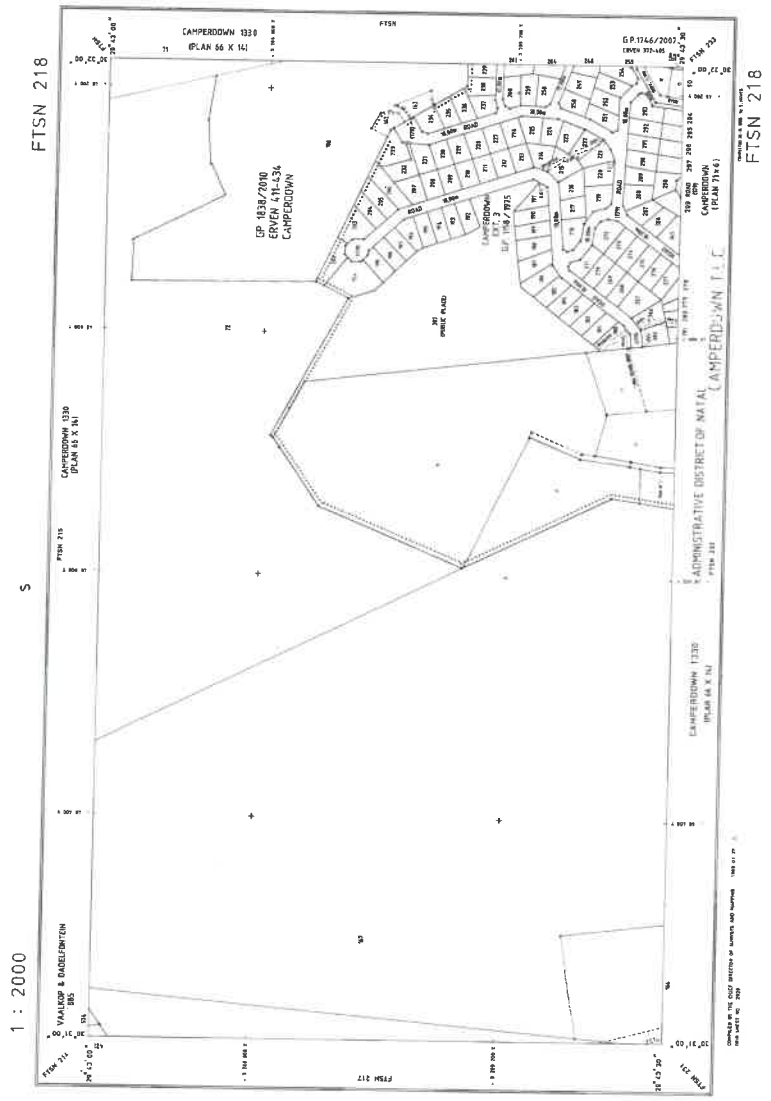
1 : 2000

FTSN 232



FTSN 232

FTSN-218

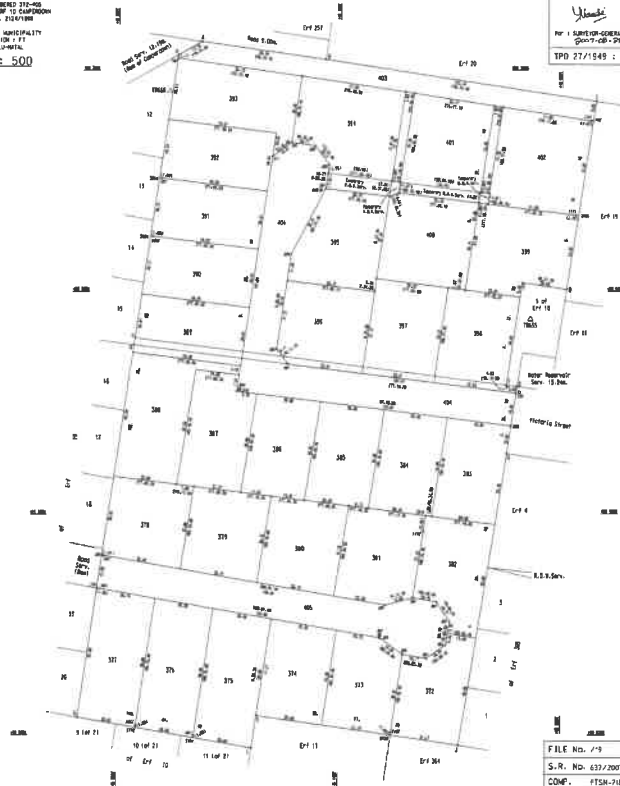


DATA BLOCK	CO-ORDINATES	AREAS
System: UTM Datum: WGS 84 Units: METERS		
Block	Coordinates	Area
1	45 001.00 - 45 001.00	1.00
2	45 001.00 - 45 001.00	1.00
3	45 001.00 - 45 001.00	1.00
4	45 001.00 - 45 001.00	1.00
5	45 001.00 - 45 001.00	1.00
6	45 001.00 - 45 001.00	1.00
7	45 001.00 - 45 001.00	1.00
8	45 001.00 - 45 001.00	1.00
9	45 001.00 - 45 001.00	1.00
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73	45 001.00 - 45 001.00	1.00
74	45 001.00 - 45 001.00	1.00
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76	45 001.00 - 45 001.00	1.00
77	45 001.00 - 45 001.00	1.00
78	45 001.00 - 45 001.00	1.00
79	45 001.00 - 45 001.00	1.00
80	45 001.00 - 45 001.00	1.00
81	45 001.00 - 45 001.00	1.00
82	45 001.00 - 45 001.00	1.00
83	45 001.00 - 45 001.00	1.00
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86	45 001.00 - 45 001.00	1.00
87	45 001.00 - 45 001.00	1.00
88	45 001.00 - 45 001.00	1.00
89	45 001.00 - 45 001.00	1.00
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92	45 001.00 - 45 001.00	1.00
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94	45 001.00 - 45 001.00	1.00
95	45 001.00 - 45 001.00	1.00
96	45 001.00 - 45 001.00	1.00
97	45 001.00 - 45 001.00	1.00
98	45 001.00 - 45 001.00	1.00
99	45 001.00 - 45 001.00	1.00
100	45 001.00 - 45 001.00	1.00

# GENERAL PLAN

COMPOUND 1 SHEET  
OF  
CAMPERDOWN  
COMPOUND 31 CIVIC NUMBERED 272-405  
STREET OF PORTLAND ST. OF 10 CAMPERDOWN  
TOWN OF CAMPERDOWN S.E. NO. 212/1989  
REGISTERED SECTION 1.1  
PROPOSED OF PARCELS-10/11  
SCALE 1 : 500

S.G. NO. 1546/2003  
SHEET 1 OF 1 SHEET  
APPROVED  
*[Signature]*  
FOR: SURVEY GENERAL  
DATE: 27/1/2006  
TPO 27/1/2006 : 2006/551



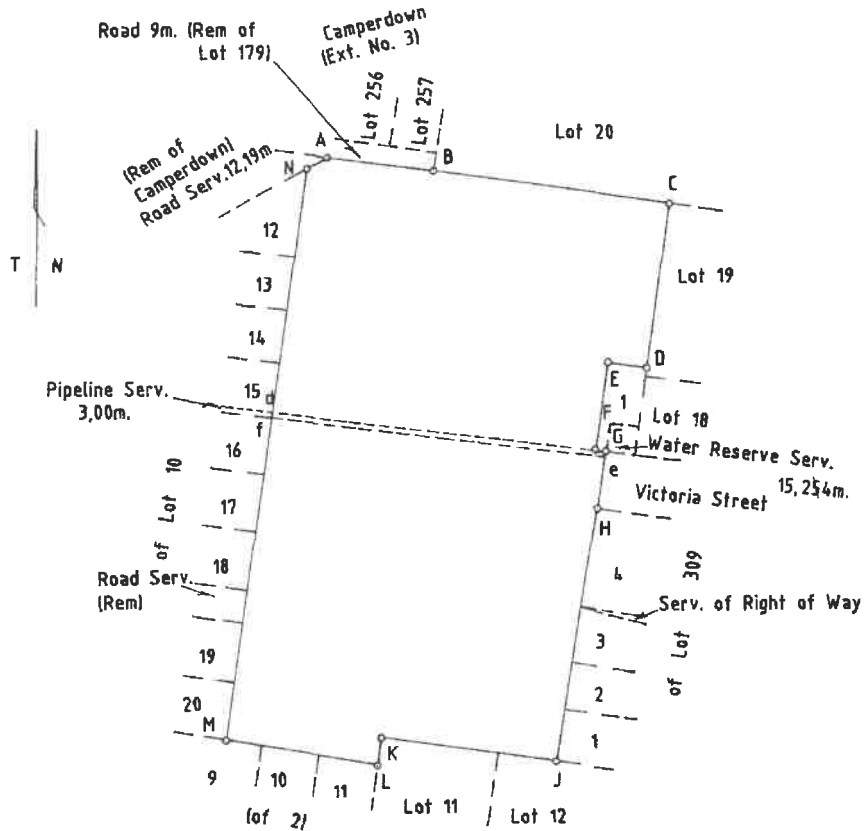
REFERENCE MARKS  
BLOCK CORNERS  
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BLOCK 100

For subdivision of this diagram see  
1746/2007  
General plan No. SG 2125/1988

Approved

*[Signature]*

for Surveyor-General  
1988.10.05



Reg. Div.  
FT

S

Surveyed in April and May 1988 by me

Land Surveyor

*[Signature]*

SCALE 1 : 3 000

## SUB-DIVISIONAL DIAGRAM

TARBOTON, HOLDER, ROSS &amp; PARTNERS

SHEET No. 1 OF 2 SHEETS

SIDES	METRES	DIRECTIONS	CO-ORDINATES		S.G. No.
			Y SYSTEM	Lo 31° x	
		Constants		0,00	+3 200 000,00
AB	56,40	278 23 20	A	+ 45 137,53	+ 89 391,32
BC	123,44	278 46 10	B	+ 45 081,73	+ 89 399,54
CD	85,76	8 36 40	C	+ 44 959,73	+ 89 418,36
DE	20,00	98 28 00	D	+ 44 972,57	+ 89 503,16
EF	46,50	8 36 40	E	+ 44 992,35	+ 89 500,22
FG	4,93	278 28 00	F	+ 44 999,32	+ 89 546,19
GH	30,58	8 34 30	G	+ 44 994,44	+ 89 546,92
HJ	133,43	9 10 00	H	+ 44 999,00	+ 89 577,15
JK	92,27	98 17 30	J	+ 45 020,26	+ 89 708,88
KL	14,73	8 28 50	K	+ 45 111,56	+ 89 695,58
LM	79,94	100 01 40	L	+ 45 113,76	+ 89 710,14
MN	302,12	188 25 50	M	+ 45 192,48	+ 89 696,22
NA	12,25	240 23 20	N	+ 45 148,18	+ 89 397,37
		180	Δ	+ 41 320,32	+ 87 580,05
		635	Δ	+ 48 537,58	+ 88 222,47

2124/1988

Approved

*Surveyor-General*Surveyor-General  
1988.10.05

## SERVITUDE NOTE

The figure dGef represents a Pipeline Servitude 3,00 metres wide  
vide diagram S.G. No. 291/1978 and Deed of Servitude No. 761/1985

## BEACON DESCRIPTIONS

- A 20mm iron pipe in concrete  
B Iron rail in concrete protruding 0,45 metres above ground surface  
C 12mm round iron peg in concrete  
D,E,F,H,N 12mm iron peg  
G 25mm iron pipe 0,35 metres West of wooden post  
J 20mm iron pipe against rail metal corner post in concrete  
K 75mm iron bar in concrete  
L,M 16mm iron peg

The figure A B C D E F G H J K L M N

represents 5,3687 Hectares

of land, being

SUB 21 OF LOT 10 CAMPERDOWN

situate in the

Administrative District and Province of Natal.

surveyed in April and May 1988

by me

*Surveyor*  
Land Surveyor

This diagram relates to	The original diagram is S.G.	File No.
No.	No. 991/1947	/1
	Transfer/Grant	S.R. No. 761/1988
	No. 10258/1947	Comp. FTSN -218,-232,-233
Registrar of Deeds.		FT-6C-218
		Degree Sheet 59

C.P.W. Pmb ps 5463

95

THE FOLLOWING DECISIONS HAVE BEEN MADE FROM THIS DIAGRAM:

SUBDIVISION	DIAGRAM NO.	S.R.	EXTENT	REMAINDER	TRANSFER NO.	INFO.	DATE
1	2038/1077	1130/77	2000 Sq.m.	31314 ha	4072/1070		1977-4-1070
2	2250/1081	810/81	1-45964	66710 ha	286/1082		1982-1-10
12	4422/1984	1620/1984	1367 Sq.m.	45349 ha	21718/1975		1984-1-9
16	4432/1984	"	1570 Sq.m.	6,2610 ha	7634/1986		1986-06-29
17	4435/1984	"	1501 Sq.m.	6,1813 ha	7635/1986		1986-06-29
14	4430/1984	"	1508 Sq.m.	6,1813 ha	7637/1987		1987-08-17
17	4435/1984	"	1403 Sq.m.	5,8579 ha	7837/1988		1988-4-10
20	4435/1984	"	1353 Sq.m.	5,7276 ha	7837/1988		1988-4-10
13	4429/1984	"	1303 Sq.m.	5,6973 ha	7837/1988		1988-4-10
15	4431/1984	"	1302 Sq.m.	5,6973 ha	7837/1988		1988-4-10
18	4434/1984	"	1428 Sq.m.	5,8545 ha	7837/1988		1988-4-10

Consolidated  
Left number attached

01001/1749

# GENERAL DIAGRAM No. 10 of 1927

PLATE COPY

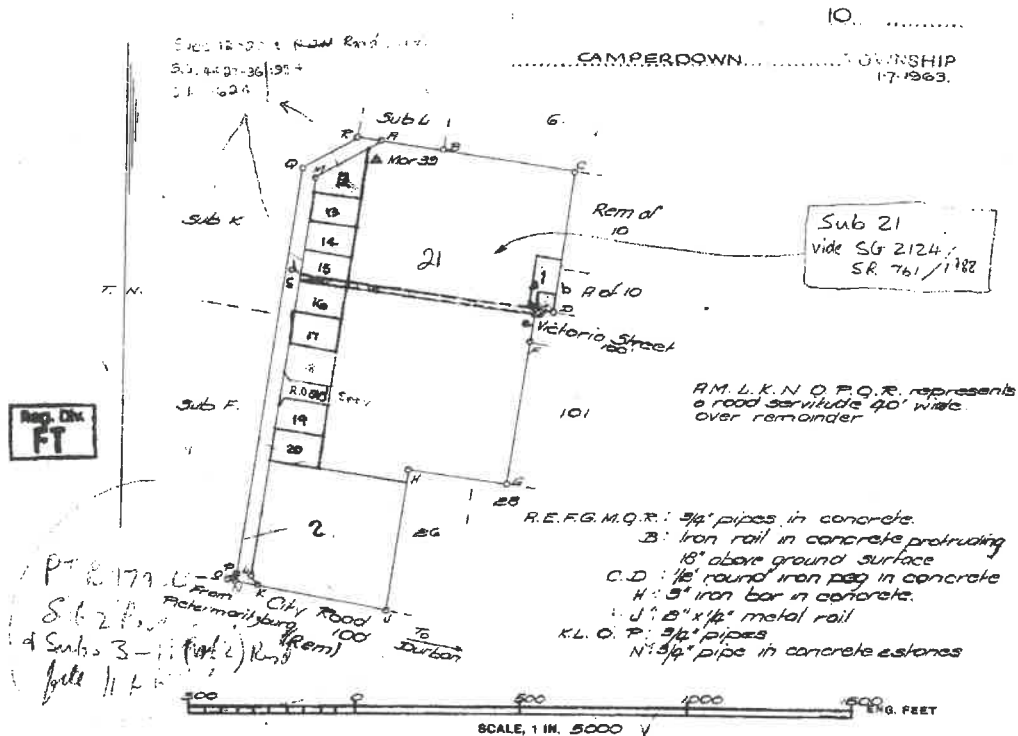
S.G.N. 991/47

SIDES. ENGLISH FEET	ANGLES of Direction	System 40 51° CO-ORDINATES Y X
AB 125.03	275 23 20	8030.52 +10780.00
BC 405.01	275 46 10	7907.25 +2063.08
CD 753.24	98 36 40	7507.00 +2151.62
DE 49.45	98 28 50	7571.28 +2550.87
EF 100.32	9 34 50	7620.89 +2673.39
FG 257.78	9 10 0	7635.25 +2672.79
GH 505.73	38 17 30	7705.58 +3104.98
HJ 435.38	8 28 50	8008.14 +3061.53
JK 393.52	101 45 40	8069.56 +3431.35
KL 29.10	125 5 50	8454.61 +3411.74
LM 1233.54	125 26 0	8471.26 +3387.68
MA 231.71	200 23 20	8231.78 +2177.28
KN 60.01	101 45 40	8515.36 +3333.50
NO 20.00	98 28 50	8533.28 +3397.77
OP 29.12	251 45 10	8510.25 +3370.78
PQ 1240.70	155 26 0	8328.49 +2152.45
QR 200.00	240 23 20	8154.61 +2063.61
RA 64.37	275 23 20	8378.74 +2156.25

Approved

Surveyor General.

- 2 - 1947



The Figure

A.B.C.D.E.F.G.H.I.J.K.L.M.

represents

20 3230 Acres

of Land being

Sub E of Camperdown Township of the farm Camperdown N° 1330

situate in the

County of Pietermaritzburg.

Province of Natal.

Surveyed in March-September 1926 by me,  
e January 1927.

B. R. Foster.  
Land Surveyor.

This Diagram relates to

Transfer No. 10258/1947

(Sgd) J. Pennington

Registrar of Deeds.

REG. 247, J. C. S. & Co.

Original Diagram is Sub. Vol.

No. 30 fol. 217

relating to Deed of Grant.

No. 1330

Plan 71 X G

File No. 1097/2 8224/1

Survey Records 954/46

Tracing

Degree Sheet 53

Compilation FFS-214

General Plan FTSN-232

- 233

COMP FTSN-218

13-11-1947

97

FEES	
Stamp duty	.....
Reg	R1050-00
Serv	.....
G/M Bond	.....

STOWELL'S

39



2012-02-27

T 004777/2012

# DEED OF TRANSFER

MOORE ATTORNEYS  
Attorneys and Conveyancers  
30 Bishop Street  
Camperdown

Prepared by me,  
Conveyancer  
MOORE A M

BE IT HEREBY MADE KNOWN

THAT

**ADRIAN WALTER STOWELL**

of Pietermaritzburg, KwaZulu-Natal, Conveyancer, appeared before me, Registrar of Deeds for the Province of KwaZulu-Natal at Pietermaritzburg, he, the said appearer, being duly authorised thereto by a Power of Attorney granted to him by:


KEITH DE KLERK PROPERTIES CC  
CK2008/031792/23

ISSUED FOR INFORMATION ONLY

Vir ENDOSSEMENTE KYK BLADSY  
FOR ENDORSEMENTS SEE PAGE .....

98

135

VERBIND		MORTGAGED	
VIR FOR R 2 500 000,00			
B 18377/2013		 REGISTRATEUR/REGISTRAR	
2013-08-28			

BC 14881 22
GEKANSELLEER CANCELLED
 REGISTRATEUR/REGISTRAR
2022-06-01

ISSUED FOR INFORMATION ONLY

which said Power of Attorney is dated the 20<sup>th</sup> day of January 2012 and signed at CAMPERDOWN.

And the said Appearer declared that KEITH DE KLERK PROPERTIES CC had truly and legally sold on the 7<sup>th</sup> day of November 2011 and that he in his capacity aforesaid did by these presents cede and transfer to and on behalf of:

AMBER PRODUCTIONS 1 CC  
CK2007/043395/23

its successors in title, administrators or assigns, in full and free property the following property, being:

the Remainder of Erf 10 Camperdown  
Registration Division FT  
Province of KwaZulu-Natal  
In extent 5,4545 (Five comma Four Five Four Five) hectares

first transferred by Deed of Transfer No. T10258/1947 with Diagram No. 991/1947 annexed thereto and held by Deed of Transfer No. T37338/2009.

THIS PROPERTY IS TRANSFERRED:

- A. Subject to such of the terms and conditions of the original Government Grant No. 1330 dated 1 March 1853, as are now in force and applicable.
- B. Subject to a Servitude of water reservoir fifteen comma two four (15,24) metres wide, lettered a.b.D.E. on the diagram thereof, in favour of the Camperdown Health Committee, as created in Notarial Deed of Servitude No. 389/1964S.

ISSUED FOR INFORMATION ONLY

- C. Subject to the following conditions imposed by the Administrator of Natal under Ordinance No. 27/1949, as amended, as created by endorsement in terms of Section 3 of Act No. 10/1944 dated 3 April 1978 on Deed of Transfer No. T12852/1965, as amended, namely:

1. The local authority shall, without compensation, have the right to erect, lay and maintain electric wires and/or water supply piping over or under the land along any boundary thereof other than a road frontage and within a distance of 1,8 metres from such boundary and shall have reasonable access thereto for the purpose of maintenance, removal or extension. Maintenance shall include trimming, cutting or otherwise dealing with trees so as to prevent interference with the electric wires.

The rights conferred by this condition shall be exercisable by any local authority or other body or person legally authorised to supply electric current or water for the benefit of the inhabitants of the township.

If the owner of the land be aggrieved by the unreasonable exercise of these rights he shall have the right of appeal to the Administrator, whose decision shall be final.

2. The local authority shall, without compensation, have the right to construct and maintain sewers and drains over or under the land along any boundary thereof other than a road frontage and within a distance of 1,8 metres from such boundary and shall have reasonable access thereto for the purpose of maintenance, removal or extension, and the owner of the land shall, without compensation, be obliged to allow the sewerage and drainage of any other land or street to be conveyed along such sewers and drains; provided that if the owner of the land be aggrieved by the unreasonable exercise of these rights he shall have the right of appeal to the Administrator, whose decision shall be final.
3. The owner of the land shall, without compensation, be obliged to permit such deposit of material or excavation on the land as may, in connection with the formation of any street and owing to differences in level between the land and the street, be deemed necessary by the local authority, in order to provide a safe and proper slope to the cut and fill commencing from the boundary of the land, unless he shall elect, at his own cost, to build a retaining wall to the satisfaction of the local authority.
4. Where two or more pieces of land subject to similar conditions imposed at the instance of the Administrator are consolidated, such conditions shall apply to the consolidated area as a whole.

ISSUED FOR INFORMATION ONLY

- D. Subject to a Pipeline Servitude 3 metres wide, represented by the figure ABCD on Servitude Diagram S.G. No. 291/1978 in favour of Camperdown Health Committee, as created in Notarial Deed of Servitude No. K761/85S.

WHEREFORE the said Appearer, renouncing all the right and title which the said  
KEITH DE KLERK PROPERTIES CC

heretofore had to the property, did in consequence also acknowledge it to be entirely dispossessed of, and disentitled to, the same, and that by virtue of these presents the said

AMBER PRODUCTIONS 1 CC

its successors in title, administrators or assigns now is and henceforth shall be entitled thereto, conformably to local custom, the State however, reserving its rights, and finally acknowledging the purchase price of the property to be the sum of R3 600 000,00 (Three Million Six Hundred Thousand Rand).

IN WITNESS WHEREOF, I, the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE AND EXECUTED at the Office of the Registrar of Deeds, at Pietermaritzburg, in the Province of KwaZulu-Natal, on

2012 -02- 27

q.q.



in my presence,



Registrar of Deeds



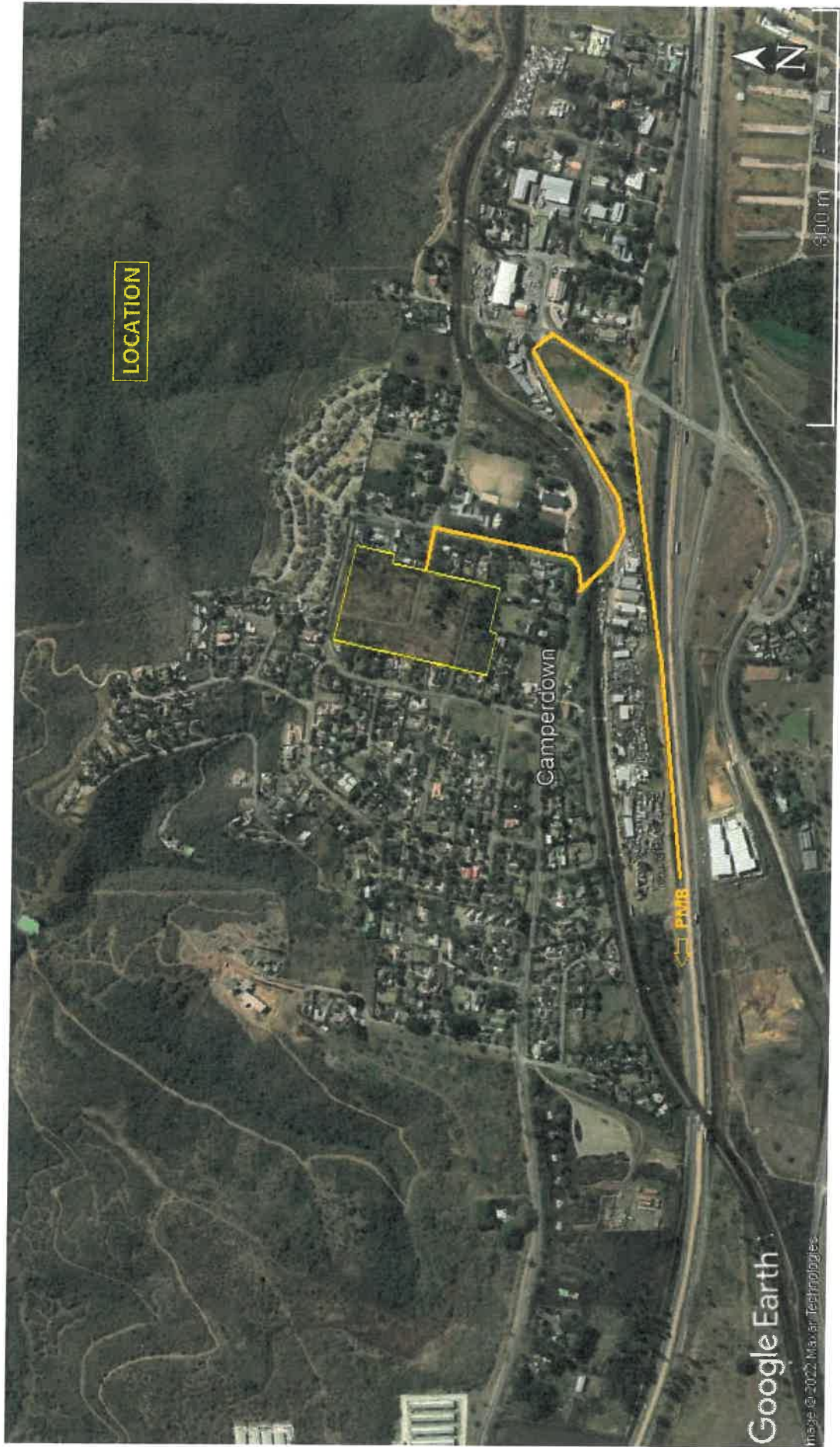
Gesertifiseer 'n ware afskrif vandie oorspronklike wat in  
Certified a true copy of the original filed of record in this  
hetdte kantoor berus.  
Office

Aftekantoor  
Deeds Office


Pietermaritzburg

  
Registrateur van Aktes  
Registrar of Deeds

2022-07-21



### 7.1.3. RESIDENTIAL ONLY DETACHED 1300m<sup>2</sup>

Notation:		STATEMENT OF INTENT: This zone promotes the development of primarily detached dwelling units, and a limited number of compatible ancillary uses, which have a non-disruptive impact on a neighborhood amenity, may be allowed.				
						
LAND USE CONTROLS						
Permitted Uses		Consent Uses			Prohibited Uses	
DEVELOPMENT CONTROLS						
<ul style="list-style-type: none"><li>Additional Self-Contained Dwelling unit (on lots larger than 2000m<sup>2</sup>)</li><li>Dwelling House</li><li>Home Activity</li></ul>		<ul style="list-style-type: none"><li>Additional self-contained dwelling unit (Provided there is adequate percolation)</li><li>Bed and Breakfast</li><li>Crèche</li><li>Day Care Centre<sup>1</sup></li><li>Guest Lodge</li><li>Home Business<sup>1</sup></li><li>Medium Density Housing (Minimum lot size 2000m<sup>2</sup>)</li><li>Telecommunications infrastructure</li></ul>			Buildings and land uses not listed in the other two columns.	
Height (Storey)	Intensity (Min. Erf)	Coverage (%)	FAR	Building Line (m)	Side space (m)	Rear Space (m)
2	1300m <sup>2</sup>	30%	0.30	7.5	2	2
ADDITIONAL CONTROLS						
Riders						
1. <sup>1</sup> Consent process may be waived if the applicant has obtained written consent from adjoining neighbours						
Erf Control						
1. A maximum of 12 units per hectare is allowed for a Medium Density Housing Site.						
2. Not more than one dwelling house shall be erected on any erf, provided that where the erf is 2600m <sup>2</sup> or greater in a Residential Only Detached zone, one additional dwelling house may be erected on the erf provided the applicant has submitted to the Municipality and received approval for a drawing showing that the land on which the additional dwelling house will stand is capable of being subdivided so that the subdivision will conform to the provisions of the Scheme; and provided that the applicant furnishes the Municipality with an undertaking that any land required under the scheme for road construction or road widening purposes shall be transferred to the Municipality at dates to be determined by the Municipality.						
Minimum Frontage						
24metres						

## 7.8.2. ROADS (EXISTING AND PROPOSED)

<b>Notation:</b> Proposed New Roads / Existing Roads		<b>STATEMENT OF INTENT:</b> This is a zone that makes provision for the reservation of land for designated roads and areas for road widening.	
<b>LAND USE CONTROLS</b>			
<b>Permitted Uses</b>		<b>Consent Uses</b>	<b>Prohibited Uses</b>
Road Infrastructure Utility Facility		Parking Area Telecommunications Infrastructure	Buildings and land uses not listed in the other two columns.
<b>DEVELOPMENT CONTROLS</b>			
Design and construction is subject to the engineering specifications prescribed by relevant National or Provincial government and in agreement with Council.			
<b>ADDITIONAL CONTROLS</b>			
<b>Declaring or Closing of Streets</b>			
a) Unless otherwise specified, wherever a road widening or proposed road is shown on the scheme map, the underlying zoning shall be the same as the lot on which such road widening or proposed road is located. b) All roads shown in red hatch on the scheme map are to be closed at dates to be determined. The scheme map shall indicate the underlying zoning which would be applicable once the road closure is implemented.			



# SERVITUDE DIAGRAM

TARBOTON, HOLDER, ROSS & PARTNERS

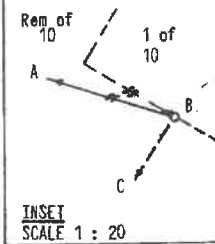
SIDES METRES	DIRECTIONS	CO-ORDINATES	
		Y SYSTEM	Lo 31° (Approx.) X
	Constants		
AB	220,03	277.10.20	A + 40 000,00 + 3 280.000,00
BC	3,00	8.34.30	B + 5 212,77 + 9 519,49
CD	220,02	97.10.20	C + 4 994,47 + 9 546,96
DA	3,00	188.26.00	D + 4 994,91 + 9 549,92
			O + 5 213,21 + 9 522,45

S.G. No.

291/1978

Approved

H. H. Wicks.  
Surveyor-General.  
9. 3. 1978.



Road Servitude 12,19 metres wide  
(Rem of Camperdown Township)

Rem of 10

1 of 10  
Victoria Street

Reg. Ch.  
FT

## BEACON DESCRIPTIONS

A, C, D : 15mm iron peg.  
B : 25mm pipe 0,35m West of wood post.

SCALE: 1 : 1500

The figure A. B. C. D.  
represents a Pipeline Servitude 3,00 metres wide

REMAINDER OF LOT 10 CAMPERDOWN TOWNSHIP

situate in the County of Pietermaritzburg  
surveyed in November 1977  
by me

Province of Natal.

H. H. Wicks  
Land Surveyor

This diagram relates to

No.  
DIS 761/1985

Registrar of Deeds.

The original diagram is S.G.

No 991/1947  
Transfer/Grant  
No. 10258/1947

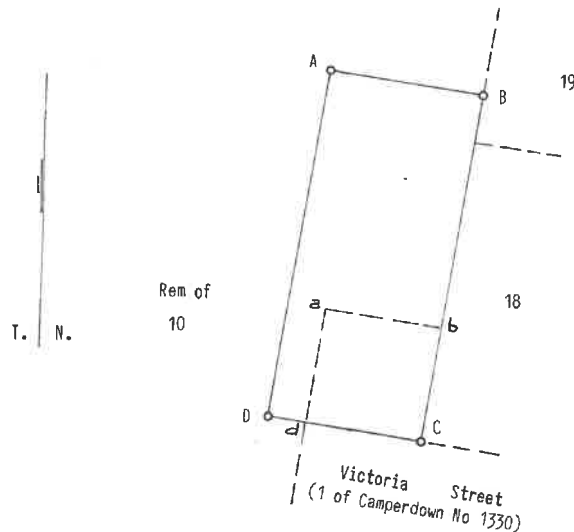
File No.

S.R. No. 153/1978  
Comp. FTSN-232  
Degree Sheet 59

SIDES METRES	DIRECTIONS	CO-ORDINATES			S.G. No.
		Y SYSTEM	10	X	
	Constants		+ 40 000,00	+ 3 280 000,00	2638/1977 Approved <i>M. J. G. Ross</i> Surveyor-General. 23-11-1977
AB 20,00	278.28.00	A	+ 4 992,37	+ 9 500,26	
BC 46,50	8.36.40	B	+ 4 972,59	+ 9 503,20	
CD 20,00	98.28.00	C	+ 4 979,55	+ 9 549,18	
DA 46,50	188.36.40	D	+ 4 999,34	+ 9 546,23	
	Mission (283)	Δ	+ 5 151,88	+ 9 413,61	
	Vaalkop S (130)	Δ	+ 8 243,41	+ 8 111,04	

## SERVITUDE NOTE

1. The figure a.b.c.d. represents a Water Reservoir Servitude 15,24 metres wide relating to Deed of Servitude No 389/1964.

PTB  
PDR 15309Reg. Dts.  
FT

S

## BEACON DESCRIPTIONS

A, B, C, D : 15mm round iron peg and cairn.

SCALE: 1 : 750

The figure A. B. C. D.  
represents 930 Square Metres

of land, being

SUB 1 OF LOT 10 CAMPERDOWN TOWNSHIP

situate in the County of Pietermaritzburg

surveyed in March 1977

by me

Province of Natal.

*H. J. Ross*  
Land Surveyor

This diagram relates to V.D.T.  
No. 40 12/1976

The original diagram is S.G.

File No. /1

No 991/1947

S.R. No. 1133/1977

Transfer/Grant

Comp. 11-60-218  
FTSN-233

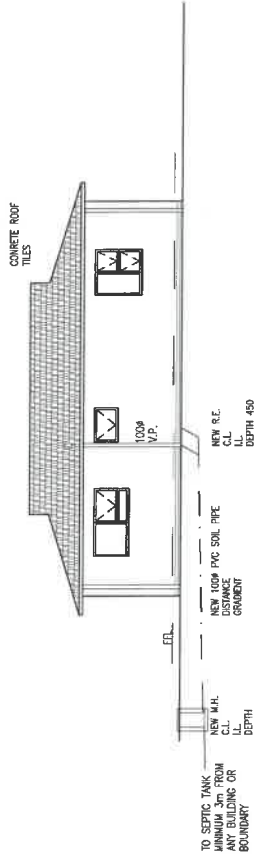
No. 10258/1947

Degree Sheet 59

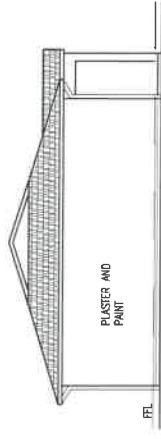
Registrar of Deeds.



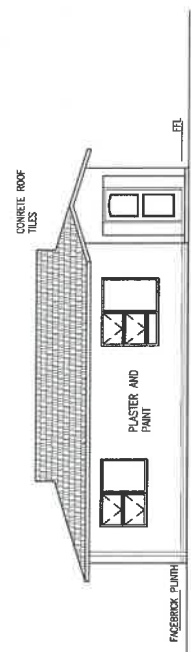
DRAWING No.	21/10/01	REV	G
DATE	SEPTEMBER 2021		



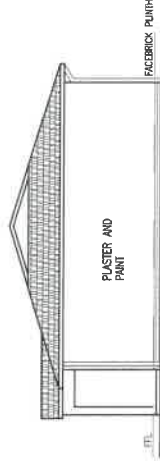
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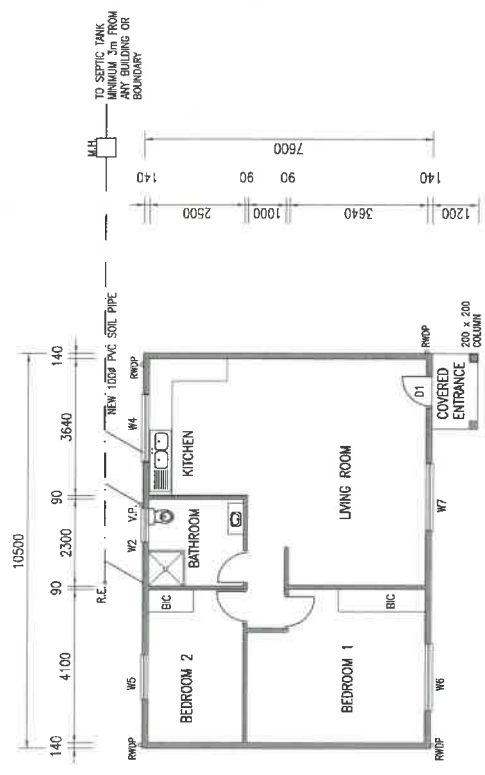
SIDE ELEVATION



FRONT ELEVATION



SIDE ELEVATION



FLOOR PLAN  
HOUSE 1 IMBABALA

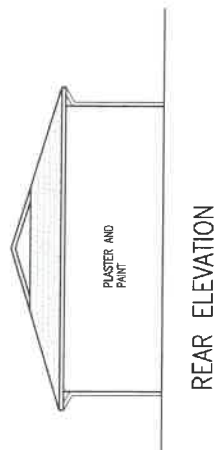
80m<sup>2</sup>  
2 BEDROOM UNIT  
COVERED ENTRANCE 2.4m<sup>2</sup>  
FENESTRATION 10.708% OF NET FLOOR AREA

OWNER  
**AMBER PRODUCTIONS 1 CC**

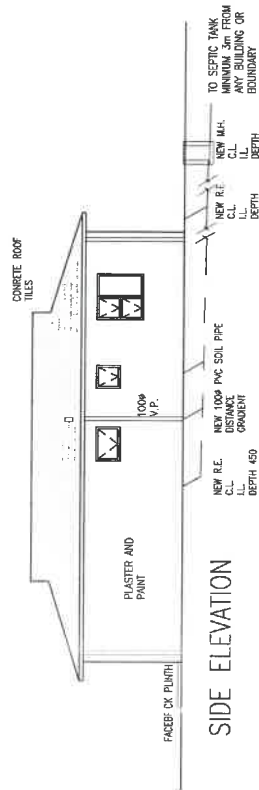
PROJECT  
**PROPOSED  
HOUSE TYPE #1  
IMBABALA  
AT  
PORTION 21 OF  
ERF 10 CAMPERDOWN**

**Designs- Inc**  
C. Y. BAILEY  
84 NYALA ROAD  
DRUMMOND  
CELL 083 486 0277  
carol@designsinccorporated.co.za

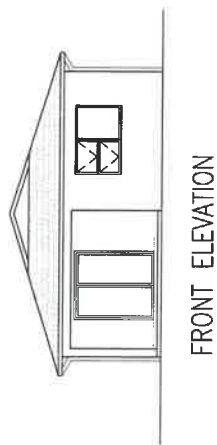
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DRAWING No.	20/15/02
DATE	AUGUST 2020
REV	



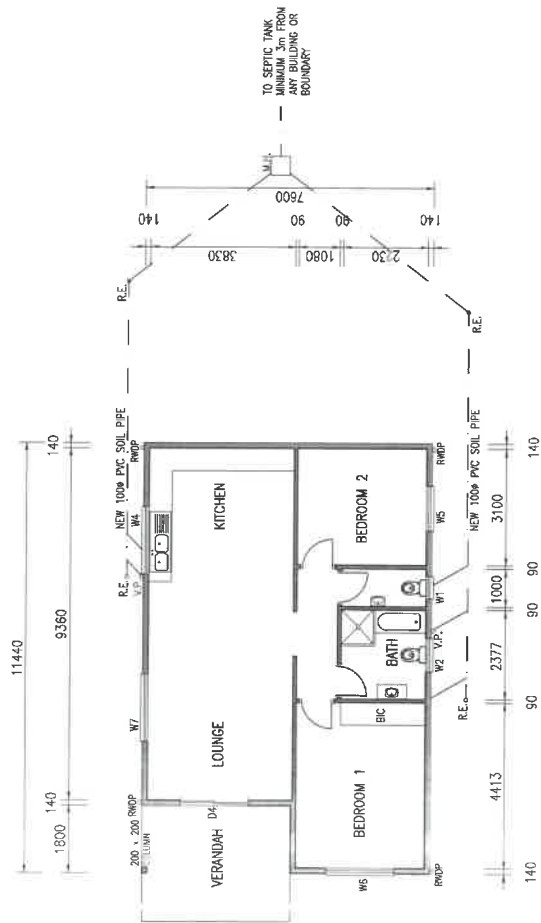
SIDE ELEVATION



SIDE ELEVATION



FRONT ELEVATION



FLOOR PLAN  
HOUSE 2 IDUBE  
80m<sup>2</sup>

2 BEDROOM UNIT  
COVERED VERANDAH 7m<sup>2</sup>  
FENESTRATION 13.215% OF NET FLOOR AREA

OWNER

AMBER PRODUCTIONS 1 CC

PROJECT

PROPOSED  
HOUSE TYPE #2  
IDUBE

AT  
PORTION 21 OF  
ERF 10 CAMPERDOWN

## Designs. Inc

C. Y. BAILEY  
REG No. ST 1059

C. Y. BAILEY

8a NYALA ROAD

CELL 083 486 0277

carol@designsincorporated.co.za

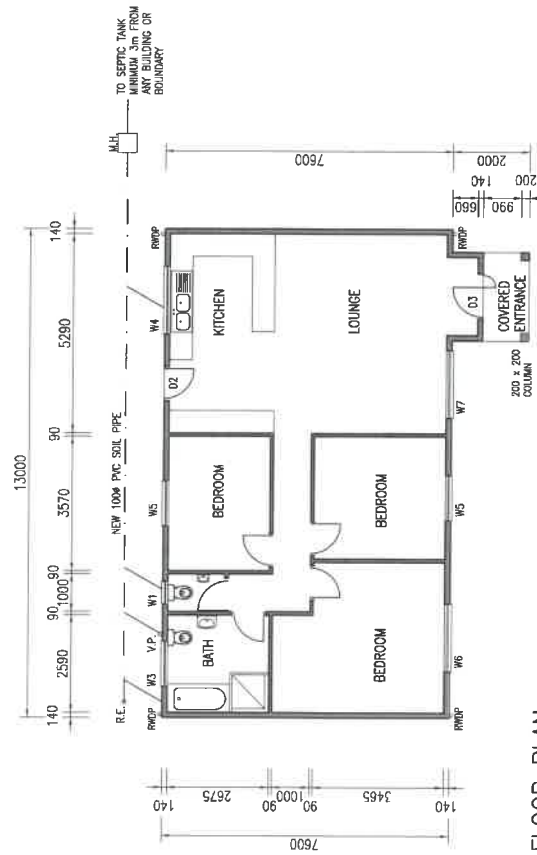
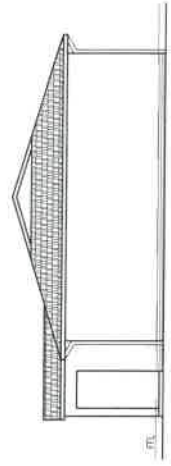
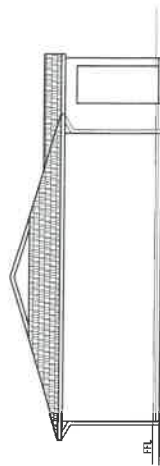
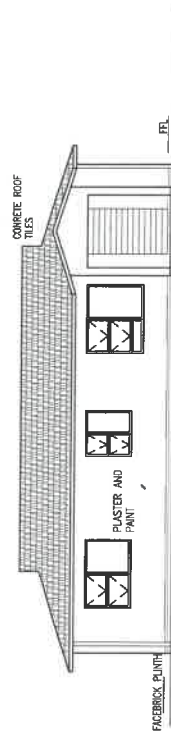
SCALES : 1 : 100

DRAWING No.

20/15/03

DATE \_\_\_\_\_

AUGUST 2020



FLOOR PLAN  
HOUSE 3 INGWENYA

 $100\text{m}^2$ 

3 BEDROOM UNIT

COVERED VERANDAH 2.8m<sup>2</sup>

COVERED VERANDA 2.8m<sup>2</sup>  
FENESTRATION 10.182% OF NET FLOOR AREA

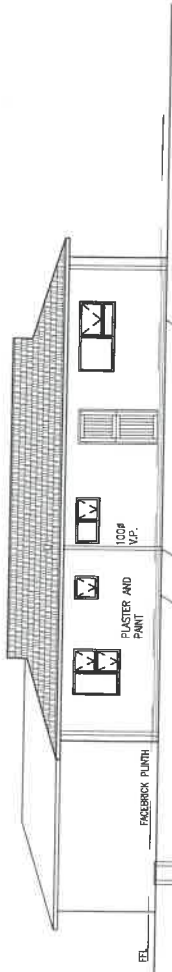
OWNER  
**AMBER PRODUCTIONS 1 CC**  
PROJECT

PROPOSED  
HOUSE TYPE #3  
INGWENYA  
AT  
PORTION 21 OF  
ERF 10 CAMPERDOWN

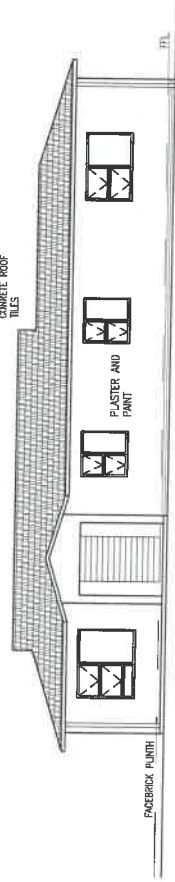
**Designs. Inc**  
REG No. ST 1059  
C. Y. BAILEY  
8a NYALA ROAD  
DRUMMOND  
CELL 083 486 0277  
carol@designsincorporated.co.za

SCALES : 1 : 100

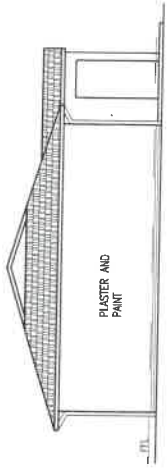
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DATE	AUGUST 2020	



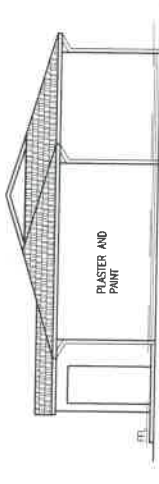
REAR ELEVATION



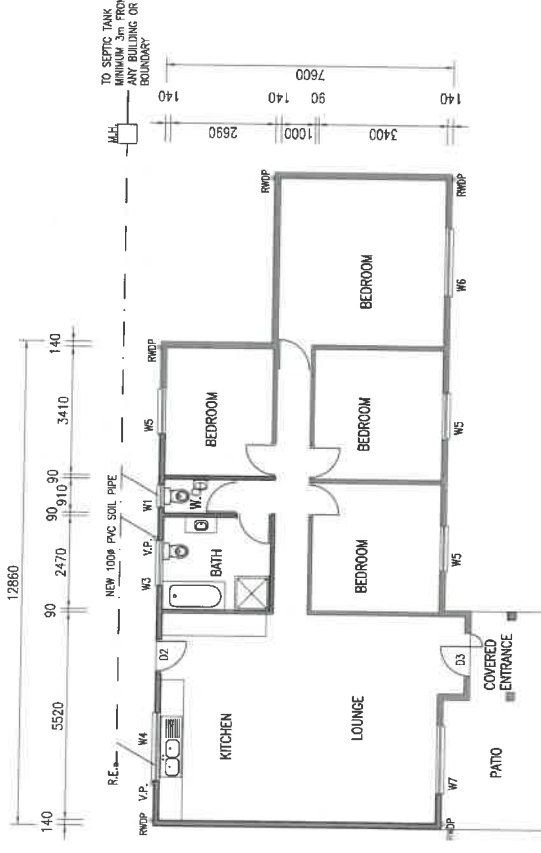
FRONT ELEVATION



SIDE ELEVATION



SIDE ELEVATION



FLOOR PLAN  
HOUSE 4 INGWE  
116m<sup>2</sup>  
4 BEDROOM UNIT  
PATIO 14m<sup>2</sup>  
FOOTPRINT 10.017% OF NET FLOOR AREA

OWNER  
**AMBER PRODUCTIONS 1 CC**

PROJECT

**PROPOSED  
HOUSE TYPE #4  
INGWE  
AT PORTION 21 OF  
ERF 10 CAMPERDOWN**

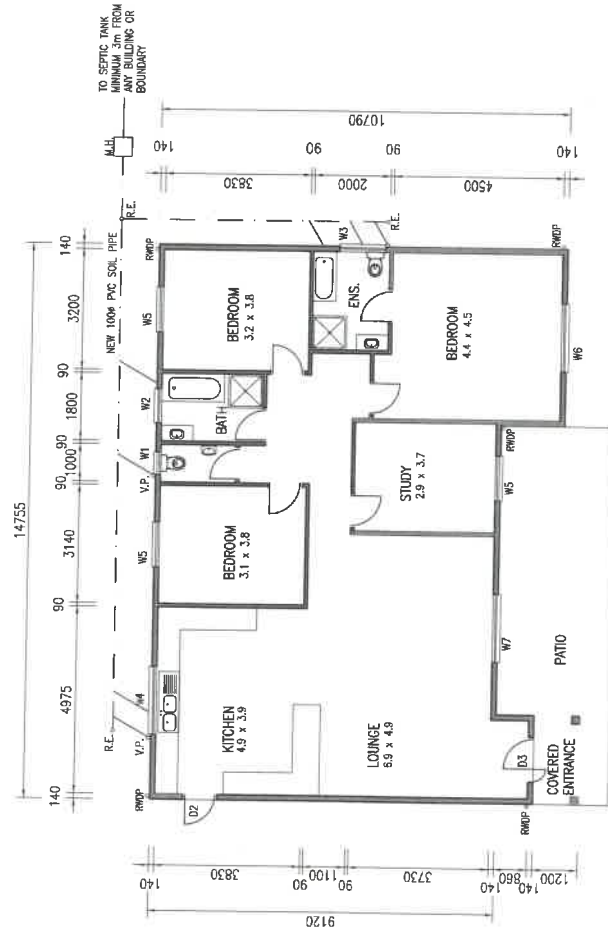
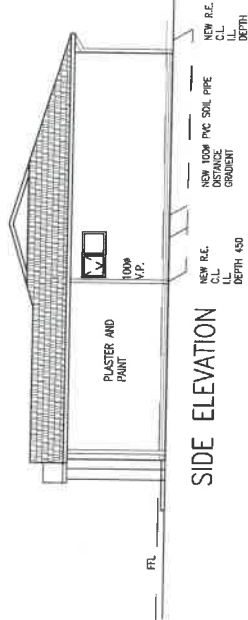
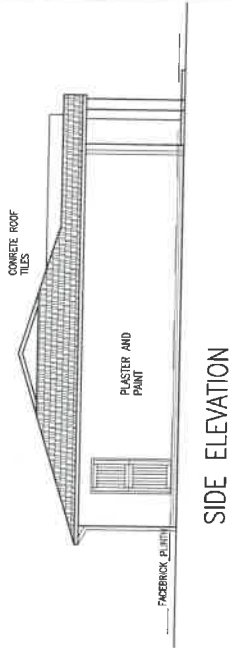
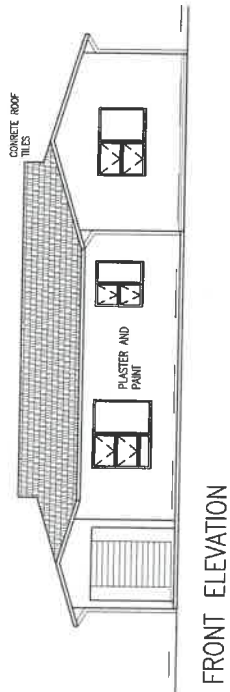
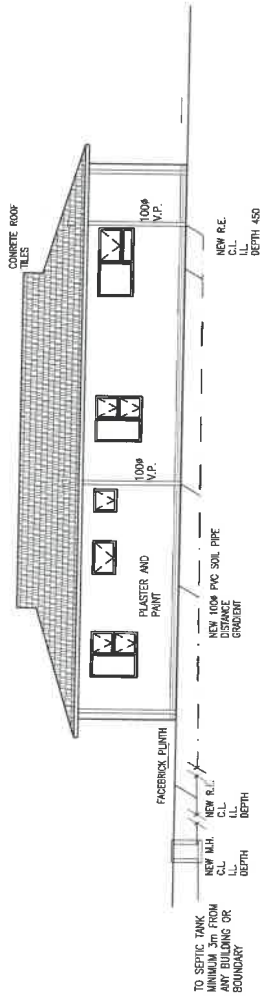
**Designs. Inc**  
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86 NYALA ROAD  
BRUNDMOND  
CELL 083 486 0877  
carol@designsincorporated.co.za

REG No. ST 1059

SCALES : 1 : 100

DRAWING No.	REV
20/15/05	
DATE	
AUGUST 2020	

214



FLOOR PLAN  
HOUSE 5 IBHUBESI  
145m<sup>2</sup>  
3 BEDROOM UNIT  
PATIO 28m<sup>2</sup>  
FENESTRATION 8.478% OF NET FLOOR AREA

115

OWNER  
**AMBER PRODUCTIONS 1 CC**

PROJECT

**PROPOSED  
HOUSE TYPE#5  
IBHUBESI  
AT  
PORTION 21 OF  
ERF 10 CAMPERDOWN**

**Designs. Inc**  
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8a NYALA ROAD  
DRUMMOND  
CELL 083 486 0277  
carol@designsinccorporated.co.za

SCALES : 1 : 100

DRAWING No.	20/15/06
DATE	AUGUST 2020

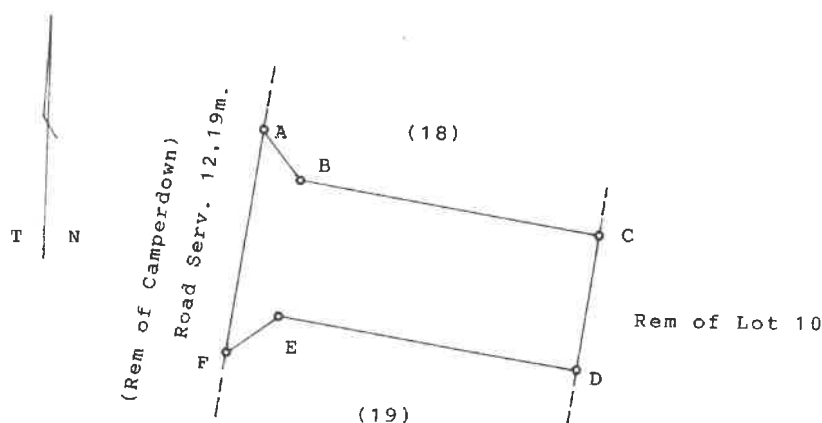
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			SYSTEM L 31	
			Y	X
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AB	8,61	324 11 50	A + 45 225,61	+ 89 606,11
BC	40,00	280 01 40	B + 45 220,58	+ 89 613,09
CD	18,00	8 25 50	C + 45 181,19	+ 89 620,06
DE	40,00	100 01 40	D + 45 183,83	+ 89 637,86
EF	8,37	54 16 10	E + 45 223,22	+ 89 630,90
FA	30,00	188 25 50	F + 45 230,01	+ 89 635,79
		283	Δ + 45 151,88	+ 89 413,61
		635	Δ + 48 537,58	+ 88 222,47

S.G. No.  
4427/1984

Approved

Surveyor-General

1985-01-29



SCALE 1:750

WITHDRAWN

BEACON DESCRIPTIONS

A.B.C.D.E.F : 16mm iron peg and cairn.

The figure A B C D E F represents a Road Servitude over

REMAINDER OF LOT 10 CAMPERDOWN

Situate in the Administrative District and Province of Natal

Surveyed in September 1984 by me

Land Surveyor

This diagram relates to

No.

Registrar of Deeds.

Original diagram :  
S.G. No. 991/1947Transfer  
No. 10258/1947

File No. /1

S.R. No. 1624/1984

Comp. ~~FF-6C-218~~  
FTSN-232

Degree Sheet-59

FOR ENDORSEMENTS etc., SEE BACK

LB Pmb pd 1977

Reg. Div.  
FT

116

9/26/2022

# Engineering Report

Camperdown Residential Development –  
Rem of Erf 10 Camperdown Revision 1



Prepared by:



PO Box 68, Merrivale 3291

Phone: 033-343 1489

[jannie@umsunguli.co.za](mailto:jannie@umsunguli.co.za)

117

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## 1. Introduction

Umsunguli Project Management cc has been appointed by Amber Productions 1 CC to undertake an Engineering Bulk Services Report for the proposed development serving 45 sites, internal roads and 2 attenuation ponds. Rem of Erf 10 Camperdown is 5,4545ha. The 45 units are proposed to be classified as medium density housing which will entail a total of thirteen (13) 80m<sup>2</sup> units, sixteen (16) 100m<sup>2</sup> units, (8) 116m<sup>2</sup> and eight (8) 145m<sup>2</sup> units.

### 1.1 Location and Access

The proposed development which can be seen on Figure 1, is situated along the old main road (R103) and amid Charlton place and Scott Street on Rem of Erf 10 and is situated in Mkhambathini Municipality which falls under uMgungundlovu District Municipality. The site can be accessed off Scott Street and the GPS coordinate of the proposed development is 29°43'33.37"S and 30°32'1.89"E.



Figure 1: The GPS coordinate of the proposed development is 29°43'33.37"S and 30°32'1.89"E

## 2. Engineering development proposal

### 2.1 General

Best practice requirements require that services be designed to connect to the existing municipal services infrastructure in order to accommodate the service requirements for developments of this nature. The internal services will be according to accepted engineering specifications and principles as well as acceptable environmental requirements and specifications, as provided in the approved environmental scoping and impact assessment reports.

The following engineering design criteria and assumption will apply:

- Where bulk services are not available, the infrastructure will be provided by the Developer.

- The provision of services to the proposed development will be designed to norms and standards in accordance with the "Guidelines for Human Settlement Planning and Design" (Red Book).

### 2.1.1 Existing services

The following existing services were observed during the site inspection conducted on 3 February 2022:

- Roads -** There is an existing gravel road (Victoria Street) off the existing surface road (Scott Street) providing access to the development.
- Water -** There is an existing bulk water connection and capacity for the water demand required by the development.
- Sanitation -** There are no existing bulk infrastructure services on site nor waterborne sewage capacity available to the development.
- Storm water -** There is no existing stormwater system in place, as the site is undeveloped, and thus all stormwater runoff flows towards the natural groundline to low points.
- Electricity -** There is no existing transformer on site, although Eskom has indicated that electricity is available in their B certificate, should the development require a connection.

## 2.2 Roads

### 2.2.1 Bulk Road Network

The main entrance to the development is located 288m from the Old Main Road R103 with access off Scott Street.

A traffic investigation was conducted at the proposed development to determine the existing traffic volume, analyse the existing traffic condition, turning movement of vehicles at intersections on the routes that will be associated to the development and to conclude if there is a need for road upgrades or alternative routes that will not disrupt the current traffic due to the proposed housing development.

The number of per trips per day is below the threshold of 50 vehicles/hour and therefore does not require a traffic impact assessment but a traffic statement. Traffic generation will be limited to residents and all vehicles are expected to be light vehicles, with heavy vehicles limited to delivery trucks, home removal and refuse collection. Although it is not expected that all residents will have vehicles, the traffic generation will be based on 1 parking for unit types 1 to 4 and 2 parking's for units type 5. This configuration is expected to generate 1.5 trips per household per day which is 67 trips per day. Access to the medium dense development will be off Scott Street, which is linked to Old Main Road, although vehicles may also go into Camperdown via other backroads. The development is designed to have 1 parking for unit types 1 to 4 and 2 parking's for units type 5.

This intersection is surfaced and stop controlled. The intersection conforms to a Type B3 standard imposed by the Department of Transport and is in a good condition and functions well. For Scott Street turning left and right, traffic would be coming from Eagles Air Development, Bisset Street, Victoria Street and Alfred Storm Drive. The table below indicates the actual and required sight distance from turning left and turning right onto the intersection.

The actual distance for turning left at the Scott Street and R103 intersection is 189m and the required distance for turning left is 165m, which is found to be acceptable according to design guidelines and the actual distance for turning right at the Scott Street and R103 intersection is 106m and the required distance for turning right is 101m and is therefore acceptable. It is recommended that road rumble strips and a concealed driveway signage are installed at the intersection to improve awareness and general road safety. This intersection is functioning well and the proposed development will not change the level of service.

The below tables shows the actual intersection sight distances in comparison to the required which is based from the *Neighbourhood Planning and Design Guide (Red Book)-Chapter: Roads: Geometric design and layout planning*

Intersection sight distance with a design speed of 60km/hr		
	Turning Left	Turning Right
Actual (m)	189	106
Required (m)	165	101

Table 1: Intersection sight distances with a design speed

It can be seen that intersection sight distances are acceptable, although the line of sight will have to be maintained and grass moved within the road reserve.

The Department of Transport has issued a letter of no objection to the proposed development, furthermore there are no conditions attached to their approval.

### 2.2.2 Internal Roads

Mrs Carol Bailey from Designs Inc. produced a general layout (Drawing No 21/10/01 Rev G) indicating all 10 roads with a varying length and a width of 5.5m and a sidewalk with interlocking paving and driveways with an asphalt surfacing. The hardened surface area from the road network is one of the main contributing factors in the increased surface run-off within the development.

The proposed internal roads within the new development to sites will be constructed to suit the anticipated traffic flow through the development, with additional parking provided for visitors, as well as strategically positioned. The pavement design will be a combination of conventional municipal standards and the (Red Book Extract).

This will assess in further stages of design, including the following criteria:

Internal Roads	:	5.5m wide roads depending on hierarchy
Design Speed	:	30 km/hr
Cross Fall	:	2.5%
Min K-Value (Crest)	:	2
Min K-Value (Sag)	:	8
Min Vertical Length	:	80m
Pavement Design	:	Asphalt or pavers with layerworks subject to final design and agreement by Developer

## 2.3 Sewage

There is no municipal bulk sewer available over Rem of Erf 10 Camperdown as the Camperdown Waste Water Treatment works operates at full capacity and according to the Umgungundlovu District Municipality the sewage generated from the development cannot be incorporated into the mentioned works as discussed with Messrs Cronje and Tyler on 25 April 2022 at offices of UMDM. The district municipality has approved that the houses of this development will operate on a septic tank and soakaway system and managed by each home owner and the Body Corporate.

The table below shows the sewage that will be generated from the development:

<b>CAMPERDOWN RESIDENTIAL - SEWER DEMAND</b>					
<b>Node</b>	<b>Description of Service</b>	<b>Area/Units</b>	<b>Redbook Guide</b>	<b>Consumption</b>	<b>Total Volume</b>
<b>Stands for low income housing (waterborne sanitation)</b>	Medium Density (670m <sup>2</sup> < 1000m <sup>2</sup> )	45	0.43 to 0.48 kL/unit/d	0,455	20,475
<b>Peak Factor</b>					<b>1,8</b>
<b>TOTAL SEWER DEMAND FOR CAMPERDOWN RESIDENTIAL INC PEAK FACTOR (kL/d)</b>					<b>37</b>
<b>TOTAL SEWER DEMAND FOR CAMPERDOWN RESIDENTIAL INC PEAK FACTOR (L/d)</b>					<b>37000</b>

Table 2: Sewer Demand

Davies Lynn & Partners (Pty) Ltd conducted a preliminary geotechnical investigation, including percolation results, which are summarized as follows:

The percolation tests are numbered P1 and P2 respectively. A further two (2No) percolation tests had been undertaken by Kowalski and Associates in March 2006. These percolation tests are numbered K1 and K2 respectively and their results are included in this report for completeness.

The results of the percolation tests are indicated in the table below

<b>PT No.</b>	<b>POSITION</b>	<b>PERCOLATION RATE (mm/hr)</b>	<b>EQUIVALENT WATER LEVEL FALL IN 30 MINUTES (mm)</b>	<b>SUITABILITY (AS PER SABS 0400)</b>
P1	Erf 386	260 mm/hr	130 mm	Suitable
P2	Erf 390	72 mm/hr	36 mm	Suitable
K1	Erf 402	250 mm/hr	125 mm	Suitable
K2	Erf 373	120 mm/hr	60 mm	Suitable

From the above table it is clear that the subsoils encountered across the site are suitable for the use of onsite sanitation, based on suitable percolation rates, varying from 72 to 260 mm/hr.

The equivalent fall in water level during the percolation tests over a period of 30 minutes ranged between 36mm and 130mm, and are required to be a minimum of 25mm in terms of National Building Regulations requirements.

The figure below depicts the position of the percolation tests

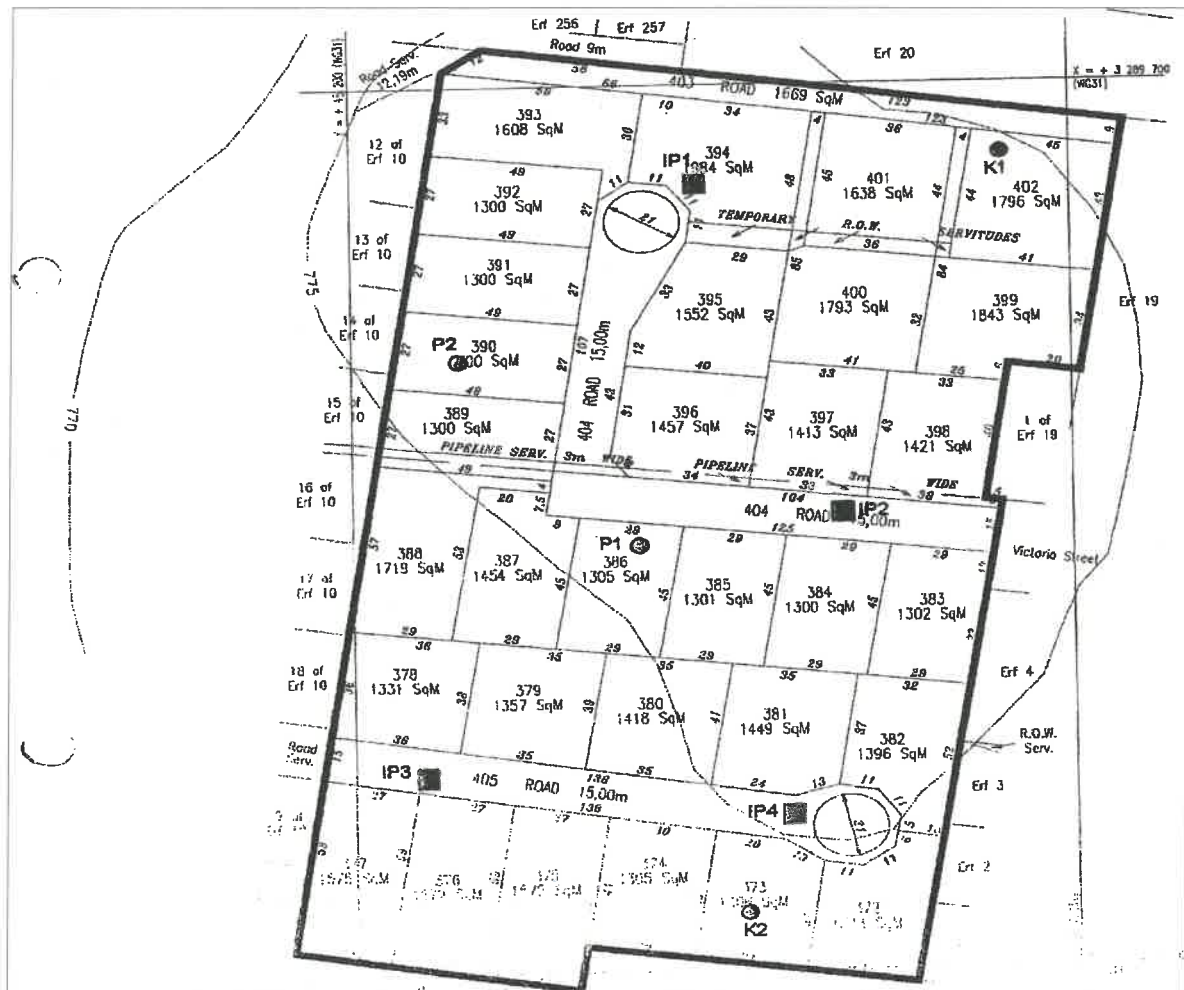


Figure 2: Position of percolation tests

The length of the soakaway is dependent on the number of bedrooms required at each of the individual sites as each type of unit produces a different sewage flow which can be seen in the tables below. It is recommended that all septic tanks should have 3 compartments, with a minimum size of 1,7m<sup>3</sup> for a single unit or at least 24-hour storage capacity, depending on the expected sewage flow. The position of the septic tank should be constructed on the lower end of the building and the overflow of the last compartment to the soak away should gravitate via a 110mm uPVC sewerpipe, laid at a gradient of 1:60. The soakaway should be filled with building rubble or material that will not decompose and result in sagging. The soak away should be constructed along the contour and covered with at least 300mm of topsoil and grass including access should the tanks have to be emptied during periods of maintenance. The area directly below the soak away should be left open to assist with evapotranspiration and should not be hardened, although it can be grassed or vegetated.

PT SITE P1					
Number of people in each unit	2	3	4	5	6
Sewerage flow (l/day)	750	900	1100	1400	1600
Interpolation formula for 25mm drop	130	130	130	130	130
Interpolation formula for application rate	260	260	260	260	260
Required surface area (m <sup>2</sup> )	2,885	3,462	4,231	5,385	6,154
Length of french drain for 1m deep and 0.6m wide (m)	0,842	1,131	1,515	2,092	2,477

Table 3: Lengths of French Drain for Percolation Test P1

PT SITE P2					
Number of people in each unit	2	3	4	5	6
Sewerage flow (l/day)	750	900	1100	1400	1600
Interpolation formula for 25mm drop	36,00	36,00	36,00	36,00	36,00
Interpolation formula for application rate	72,00	72,00	72,00	72,00	72,00
Required surface area (m <sup>2</sup> )	10,417	12,500	15,278	19,444	22,222
Length of french drain for 1m deep and 0.6m wide (m)	4,608	5,650	7,039	9,122	10,511

Table 4: Lengths of French Drain for Percolation Test P2

PT SITE K1					
Number of people in each unit	2	3	4	5	6
Sewerage flow (l/day)	750	900	1100	1400	1600
Interpolation formula for 25mm drop	125,00	125,00	125,00	125,00	125,00
Interpolation formula for application rate	250,00	250,00	250,00	250,00	250,00
Required surface area (m <sup>2</sup> )	3,000	3,600	4,400	5,600	6,400
Length of french drain for 1m deep and 0.6m wide (m)	0,900	1,200	1,600	2,200	2,600

Table 5: Lengths of French Drain for Percolation Test K1

PT SITE K2					
Number of people in each unit	2	3	4	5	6
Sewerage flow (l/day)	750	900	1100	1400	1600
Interpolation formula for 25mm drop	60,00	60,00	60,00	60,00	60,00
Interpolation formula for application rate	120,00	120,00	120,00	120,00	120,00
Required surface area (m <sup>2</sup> )	6,250	7,500	9,167	11,667	13,333
Length of french drain for 1m deep and 0.6m wide (m)	2,525	3,150	3,983	5,233	6,067

Table 6: Lengths of French Drain for Percolation K2

## 2.4 Water

The proposed development will be served from a new bulk water connection provided by Umgungundlovu District Municipality.

Based on the Water Supply: Neighbourhood Planning and Design Guide the below calculation was conducted and resulted to a demand of 47 000 l/d, however the development will be incorporating measures to reduce the water demand such as storing of rainwater that will be used for domestic activities therefore the peak daily water demand of 23500 l/d has been approved by the district municipality (WSA).

All internal reticulation will comprise of 75 – 110mm diameter uPVC Class 12 pipes with individual water meters to each unit for internal monitoring and reconciliation. Isolation valves will be installed to manage the internal system and fire hydrants will be provided at a radius of 180m to ensure all units are covered.

The below table indicate the water demand required for Camperdown Residential

<b>CAMPERDOWN RESIDENTIAL - WATER DEMAND</b>					
<b>Node</b>	<b>Description of Service</b>	<b>Area/Units</b>	<b>Redbook Guide</b>	<b>Consumption</b>	<b>Total Volume</b>
<b>Stands for lowincome housing (waterborne sanitation)</b>	Medium Density (670m <sup>2</sup> < 1000m <sup>2</sup> )	45	0.50 to 0.60 kL/unit/d	0,55	24,75
<b>Table J.9: Recommended peak hour, day and week factors, based on land use</b>				1,9	
<b>TOTAL WATER DEMAND FOR CAMPERDOWN RESIDENTIAL INC PEAK FACTOR (kl/d)</b>					<b>47</b>
<b>TOTAL WATER DEMAND FOR CAMPERDOWN RESIDENTIAL(l/d)</b>					<b>47000</b>
<b>50 % of TOTAL WATER DEMAND FOR CAMPERDOWN RESIDENTIAL(l/d)</b>					<b>23500</b>
Due to storing of rainwater that will be used for domestic activities, the water demand required for Camperdown residential will be 50% of the calculated demand which is 23500 l/d.					

Table 7: Water Demand

The figure below shows the water layout for the proposed development



Figure 3: Water layout

## 2.5 Storm water

### 2.5.1 Internal Storm Water System

The storm water management strategy will be to manage and collect all surface runoff in a conventional storm water system into strategically positioned attenuation ponds that will discharge into the natural drainage systems on site and gravitate towards the drainage line bisecting the site. The site has rather flat slopes and this flatness will reduce the stormwater runoff and reduce the concentration times.

The standards for the storm water infrastructure to be installed with the proposed development can be summarized as follows:

- |                             |   |
|-----------------------------|---|
| ➤ Flood recurrence interval | : 5 years and at critical points 10 years   |
| ➤ Attenuation structures    | : 50 years                                  |
| ➤ Pipe material             | : Concrete                                  |
| ➤ Pipe Class                | : 100D in traffic areas, 50D in other areas |
| ➤ Pipe diameters            | : 300mm Ø (minimum), except pond outlets    |
| ➤ Bedding                   | : Class C                                   |
| ➤ Inlets                    | : Splayed Catchpits / Steel Grids           |
| ➤ Outlets                   | : Headwalls                                 |
| ➤ Junctions                 | : Points of deflection on pipelines         |

➤ Road / Parking surface : Block paving or asphalt with suitable layers

The storm water infrastructure will be constructed in accordance with the "Guidelines for Human Settlement Planning and Designs", but will be based on the final approved detail designs.

### 2.5.2 Storm Water Management

The traditional design for storm water drainage systems has been to collect and convey storm water runoff as rapidly as possible to a suitable location where it can be discharged accordingly.

The objective of a storm water management plan should be to manage the storm water resources of the collective watersheds to:

- Prevent Flood Damage
- Preserve the natural and beneficial functions of the natural drainage system
- Preserve and enhance storm water quality

Storm water from internal roads and roofs will be collected and retained on site through the installation of storm water attenuation measures, which will be done as part of a separate Storm Water Management Plan (SWMP). Outlets and overflows must be constructed to prevent scouring and erosion and release runoff into the two natural drainage areas. Storm water harvesting is advised for all roofed areas as the harvested rainwater could be used for the irrigation of the gardens and landscaped areas. The SWMP will discuss the introduction of attenuation and retention ponds incorporated into the civil engineering design and landscaping plan to create focal points within the development, but also to manage the increase in runoff between the pre and post development flows.

Each house will comprise of a grass drain so that the stormwater can drain into the catchpits along the stormwater pipes and into the attenuation pond. All roof water will be fed from the gutters into a 2500l storage tank situated at the end of each house. This storage water will be used for vehicle washing, garden taps and toilet flushing. Sites 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45 and the parking area drains onto Roads 3 and 4 and into the catchpit that conveys the stormwater into attenuation pond 1 and through Road 9 and thus into an outlet on road 1, leading to Victoria Street.

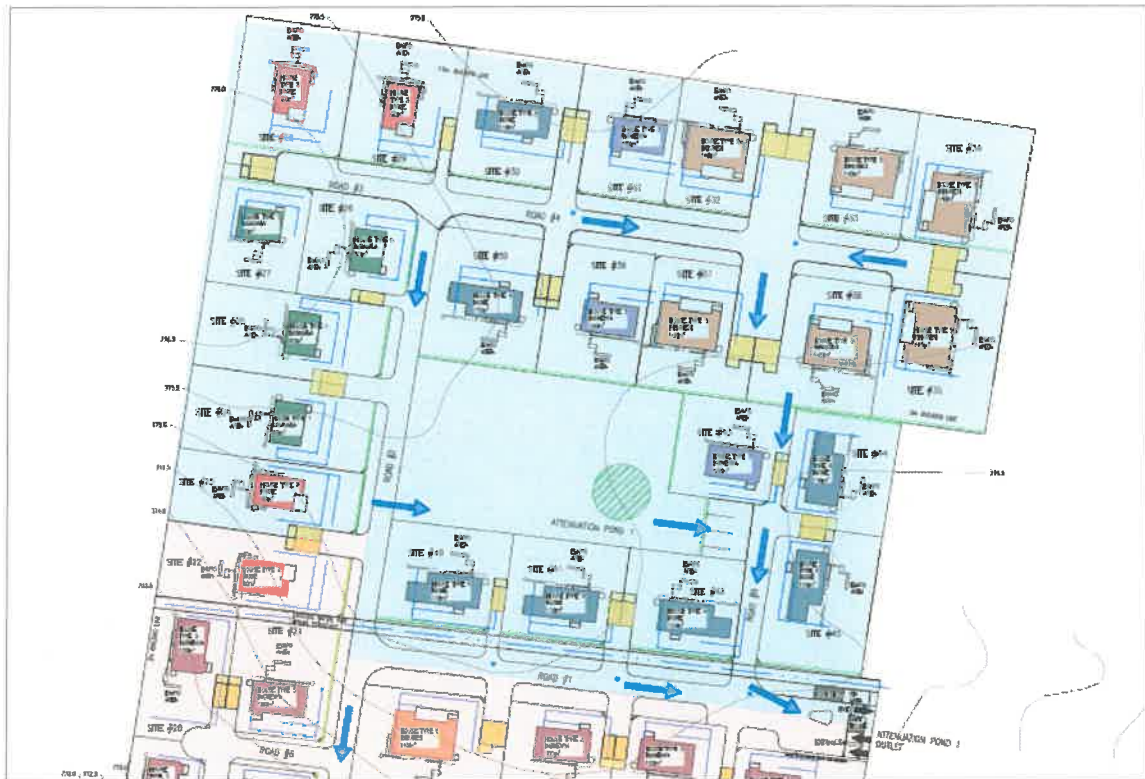


Figure 4: Drainage to attenuation pond 1

Sites 1, 2, 3, 4, 5, 6, 7, 8, 18, 19, 20, 21 and 22 drains onto Roads 5, 6 and 7 and thus to the attenuation pond 2. Stormwater harvesting will be implanted in the form of JoJo tanks for sites 9, 10, 11, 12, 13, 14, 15, 16 and 17 which is due to the low ground levels at these sites that cannot be conveyed to attenuation pond 2.

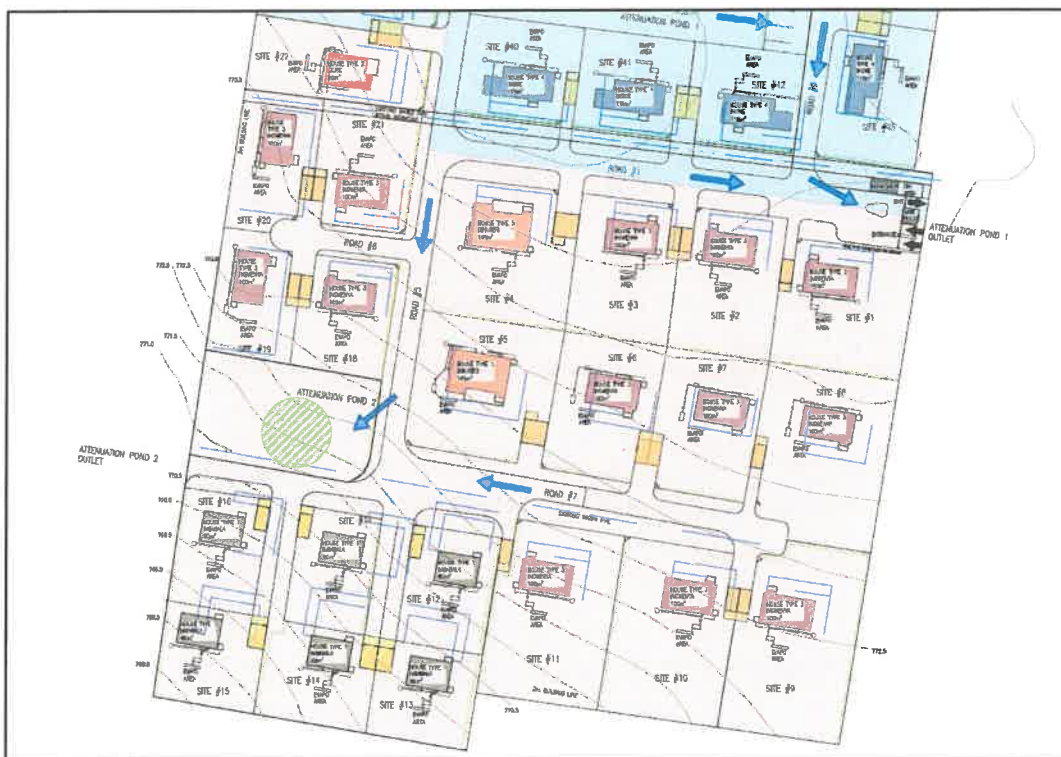


Figure 5: Drainage to attenuation pond 2

## 2.6 Refuse

A collection point should be provided at the main entrance gate of the development, where the refuse can be collected weekly. Collection from each individual owner will be undertaken by the Home Owner's Association. It is recommended that the area is walled and covered with an outlet connected to a small soakaway in order to wash and disinfect the storage area to prevent smell and vermin nuisance.

It is essential that the internal measures ensure that recyclable material is separated from general refuse and The Home Owners Association will be responsible to contract with a recycling company to collect the recyclable material or deliver it to the respective location.

## 2.7 Electricity

The B3 application was submitted and Eskom states that a supply of electricity is available to within the normal connection distance of the boundary of the property. The response from Eskom pertains to existing lines, 11kV to 132 kV that is presently under the control of Eskom Distribution, KZN operating unit. An alternative method of the electricity supply to the development will be to run on renewable energy such as solar panels, invertors, or perhaps compressed natural Gas as adopted by some developments in Gauteng, but this will be done at final design stage.

## 3. GEOTECHNICAL INFORMATION

A layer of topsoil was generally encountered from the ground surface to between 0,35m and 0,7m depth and was typically described as slightly moist, dark greyish, brown, very loose to loose, slightly to moderately clayey, silty, fine to medium SAND. A distinct pebble marker defines the base of this horizon and comprised typically gravel-sized tillite corestones and/or weathered tillite fragments.

Colluvium (transported soil) was encountered immediately beneath the topsoil and extending to between 0,9m and 1,1m depth. The colluvium was typically described as slightly moist, moderate brown mottled and blotched orange, very loose to loose, slightly clayey, silty, fine to medium SAND containing minor scattered gravels and small tillite corestones.

Beneath the colluvium, residual tillite subsoils were encountered to the maximum depths excavated of 1,5m. The residual tillite was typically described as slightly moist, dusky yellow mottled and blotched reddish brown, loose/firm, moderately clayey, silty, fine to medium SAND to SANDY SILTY CLAY with occasional weathered tillite corestones.

Weathered tillite bedrock was not encountered during this shallow investigation to the maximum depths excavated of 1,5m below existing ground level.

## 4. CONCLUSION

This report has been prepared to assess the availability and access to bulk infrastructures services for the proposed Camperdown Residential Development comprising 45 residential sites, whilst confirming the level of service for all internal services. The conclusion is that the development can proceed, subject to the following conditions:

- Utilising the main access off Scott Street
- Each unit within this development will operate on a septic tank and soakaway system and managed by each home owner. The homeowner will be responsible to submit their septic tanks and soakaway details, as part of the building plan submission to the municipality for approval.
- A new metered bulk water connection will be provided by Umgungundlovu District Municipality upon application and payment of the connection fee by the Developer.
- All residential dwellings must be provided with a 2500l storage tank and must incorporate rainwater harvesting methods to reduce the water consumption.
- The construction of two attenuation ponds.

The above information has been prepared using available information and a site investigation. However, based on the existing information the development can be provided with water, sewer, roads and electricity services along with having suitable stormwater mitigation measures.



JG Cronje, PrTechni  
ECSA 200130023

# ANNEXURE A:

## A.1 SITE DEVELOPMENT PLAN



Figure 6: Site Development Plan

## A.2 CONCEPTUAL LAYOUT PLAN



Figure 7: Services layout

# ANNEXURE C

## SITE PHOTOGRAPHS



*Figure 8: Intersection at 17th Scott Street*



*Figure 9: Turning Left into Scott Street*



*Figure 10: Turning Right into Scott Street*

**REVISED REPORT TO  
AMBER PRODUCTIONS 1 CC  
ON A PRELIMINARY  
GEOTECHNICAL  
INVESTIGATION FOR THE  
PROPOSED DEVELOPMENT  
ON PORTION 21 OF ERF 10,  
CAMPERDOWN**



**DAVIES  
LYNN &  
PARTNERS**

**Reference**  
N7211

**Revised By**  
A. Krebs

**Date**  
February 2022

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### **APPENDIX 1**

Inspection Pit Logs

### **DRAWING**

N7211-01                      Geotechnical Site Plan

**1. TERMS OF REFERENCE**

Davies Lynn & Partners (Pty) Ltd [DLP] submitted a proposal to undertake a Preliminary Geotechnical Investigation of the above site to Mrs van Vuuren in a letter dated 30<sup>th</sup> January 2007. In a reply email Mrs van Vuuren confirmed acceptance of the above. DLP were then requested by Mr. N. Tyler on the 13<sup>th</sup> January 2022 to revise this Report for the proposed new development.

**2. INFORMATION SUPPLIED**

For the purpose of this investigation Davies Lynn & Partners (Pty) Ltd were supplied with a survey drawing of the site prepared by Messrs. Tarboton Holder Ross & Partners (Plan No. 13718A). In addition, Davies Lynn & Partners (Pty) Ltd were also supplied with the results of two (2No) percolation tests previously carried out on the site.

**3. SCOPE OF REPORT**

The scope of this report is as follows:

- Describe the investigation and present the field and laboratory test results.
- Assess the site and classify the typical subsoil conditions in terms of the proposed development.
- Determine the suitability of the subsoils on the site for on-site disposal of wastewater by septic tank and soakaway system.
- Provide preliminary founding recommendations; and
- Comment on in-situ road subgrade characteristics.

**4. INVESTIGATION AND FIELDWORK**

The fieldwork took place on the 7<sup>th</sup> February 2007 and comprised excavation, logging and backfilling of four (4No) inspection pits by hand to 1,5m depth below existing ground level. Two (2No) percolation tests were carried out at a depth of 0,8m below existing ground level in accordance with the requirements of SABS 0400. The pits in which the percolation tests were conducted were also logged and then backfilled. Two (2No) disturbed samples of the representative subsoils

were retrieved and submitted to a commercial soils testing laboratory (Thekwini Soils Lab) for foundation indicator testing.

The approximate positions of the above field tests are indicated on the attached Geotechnical Site Plan – Drawing No. N7211/01. Logs of the inspection pits are included in Appendix 1 of this Report.

## 5. SITE DESCRIPTION AND GEOLOGY

The proposed development occurs within the suburb of Camperdown. The site is situated on an elevated hilltop area with an average elevation of some 775m. The site slopes very gently to the southwest at approximately 2° (1:30).

A layer of **topsoil** was generally encountered from the ground surface to between 0,35m and 0,7m depth and was typically described as *slightly moist, dark greyish, brown, very loose to loose, slightly to moderately clayey, silty, fine to medium SAND*. A distinct pebble marker defines the base of this horizon and comprised typically gravel-sized tillite corestones and/or weathered tillite fragments.

**Colluvium** (transported soil) was encountered immediately beneath the topsoil and extending to between 0,9m and 1,1m depth. The colluvium was typically described as *slightly moist, moderate brown mottled and blotched orange, very loose to loose, slightly clayey, silty, fine to medium SAND* containing minor scattered gravels and small tillite corestones.

Beneath the colluvium, **residual tillite** subsoils were encountered to the maximum depths excavated of 1,5m. The residual tillite was typically described as *slightly moist, dusky yellow mottled and blotched reddish brown, loose/firm, moderately clayey, silty, fine to medium SAND to SANDY SILTY CLAY* with occasional weathered tillite corestones.

Weathered tillite bedrock was not encountered during this shallow investigation to the maximum depths excavated of 1,5m below existing ground level.

Some builder's rubble was observed within the upper 0,3m of inspection pit IP P2, suggesting past fill or dumping of material in this vicinity.

## 6. LABORATORY TEST RESULTS

With reference to Section 4 of this report, a number of samples were retrieved from the inspection pits and submitted to Thekwini Soils Lab cc for full indicator testing. Table 1 overleaf summarizes the laboratory test results.

**Table 1: Summary of Laboratory Test Results**

Sample No.		1	2
Inspection Pit No.		IP 2	IP 4
Sample Depth (m)		0,8m	1,2m
Description		Moderate brown mottled & blotched orange, slightly clayey, silty, f-m SAND with minor gravels & corestones	Dusky yellow mottled & blotched reddish brown/orange, moderately clayey, silty, f-m SAND to SANDY SILTY CLAY with minor Tillite corestones
Origin		Colluvium	Residual Tillite
Soil Mortar	% Gravel	11,8	4,2
	% Sand	26,5	23,2
	% Silt	21,6	31,5
	% Clay	40,1	41,1
Liquid Limit		36	39
Plasticity Index		16	16
Linear Shrinkage		8,0	8,0
Grading Modulus		0,7158	0,3441
Rev. US (Group Index) Classification		A-6 (8)	A-6 (8)

Using Van der Merwe's potential swell prediction chart, which classifies potential heave based on a weighted plasticity index versus clay content, the colluvium and residual tillite both exhibit a LOW potential heave of up to approximately 2%.

## 7. PERCOLATION TEST RESULTS

With reference to Section 4 of this report, two (2No) percolation tests were carried out in accordance with SABS 0400 CRITERIA. These percolation tests are

numbered P1 and P2 respectively. A further two (2No) percolation tests had been undertaken by Kowalski and Associates in March 2006. These percolation tests are numbered K1 and K2 respectively and their results are included in this report for completeness.

The results of the percolation tests are indicated in the table below:

<b>PT NO.</b>	<b>PT POSITION</b>	<b>PERCOLATION RATE (mm/hr)</b>	<b>EQUIVALENT WATER LEVEL FALL IN 30 MINUTES (mm)</b>	<b>SUITABILITY (AS PER SABS 0400)</b>
P1	Erf 386	260 mm/hr	130 mm	Suitable
P2	Erf 390	72 mm/hr	36 mm	Suitable
K1	Erf 402	250 mm/hr	125 mm	Suitable
K2	Erf 373	120 mm/hr	60 mm	Suitable

From the above table it is clear that the subsoils encountered across the site are generally suitable for disposal of wastewater by subsoil percolation and evapotranspiration, with percolation rates varying from 72 to 260 mm/hr.

The equivalent fall in water level during the percolation tests over a period of 30 minutes ranged between 36mm and 130mm and are required to be a minimum of 25mm in terms of National Building Regulations requirements.

## **8. PROPOSED DEVELOPMENT**

The proposed development comprises forty-five (45No) residential units, including a gatehouse and a workshop. The erven will be accessed by two (2No) proposed new 15,0m wide roads and one (1No) upgrade and widening of an existing road.

## **9. ON-SITE SANITATION**

With reference to Section 7 of this report the subsoils encountered across the site are suitable for disposal of wastewater by subsoil percolation and

evapotranspiration i.e., through the use of septic tanks and French drain soakaways.

The table below indicates the daily sewage flow as well as the approximate evapotranspiration area and soakaway length requirements for houses of various

numbers of bedrooms. The sewage flow volume is based on SABS 0400 while the evapotranspiration areas and soakaway lengths are based on the Water and Sanitation Unit of the eThekweni Municipality Guidelines (July 2005: Revision E) for an average percolation rate and typical site conditions.

<b>NO. OF BEDROOMS</b>	<b>SEWAGE FLOW</b>	<b>EVAPORATION AREA REQUIRED</b>	<b>MINIMUM SOAKAWAY</b>
2	700	210	6
3	900	270	8
4	1100	330	10
5	1400	420	13

Septic tanks for each proposed house should comprise a minimum of two chambers of approximately 0,9m<sup>3</sup> each, giving a total storage volume of 1,8m<sup>3</sup> or 1800 litres.

Disposal of wastewater on Portion 21 of Erf 10, Camperdown by subsoil percolation and evapotranspiration is therefore considered feasible subject to the evapotranspiration areas and minimum soakaway lengths indicated above.

## **10. ROAD SUBGRADE CHARACTERISTICS**

Allowing for nominal stripping of topsoil, it is likely that the subsoil material that will be encountered at road subgrade level will comprise either topsoil or colluvium. Based on experience with similar soils, these materials are considered to classify as G10 at best in terms of TRH14 criteria.

It is therefore recommended that the typical materials encountered at road subgrade level be undercut by 300mm and replaced with an imported, select layer of G7 material compacted to 93% Mod AASHTO maximum dry density beneath all proposed road layerworks.

## **11. PRELIMINARY FOUNDING RECOMMENDATIONS**

The founding conditions across the site are relatively uniform and comprise essentially clayey colluvial and residual tillite subsoils. Although the potential heave of the colluvium and residual tillite soils was classified as LOW (<2%) according to Van der Merwe's potential swell prediction chart, residual tillite soils can exhibit significant heave and shrinkage movements in response to moisture level fluctuations.

It is therefore recommended that foundations for single storey houses be located in the firmer residual subsoils and at a relatively moisture stable level, in order to reduce potential settlements and/or heave and shrinkage related movements.

In the above regard, it is recommended that foundations be located at 1,5m depth below existing ground levels. In order to achieve this founding depth, one of the three options below is recommended.

### Option 1: Footing located at 1,5m depth

Option 1 comprises founding of the proposed footings at a depth of 1,5m below existing ground level. The base of the footing excavation at 1,5m depth should be inspected to ensure that there are no "soft spots" after which it should be lightly compacted. It is advisable to cast a thin blinding layer onto the base to prevent the soils from drying out, whereafter the footings can be constructed. Brickwork would then be used in the plinth build-up to floor level.

### Option 2: Footing located at 0,8m depth onto improved ground

Option 2 comprises founding of the proposed footings at a standard depth of 0,8m below existing ground level, but onto improved ground. The base of the footing excavation at 1,5m depth should be inspected to ensure that there are not "soft spots" after which it should be lightly compacted. Selected G5 material should then be backfilled in layers not exceeding 200mm, individually compacted to 97% Mod AASHTO maximum dry density, up to underside of footing level.

Option 3: Footing located at 0,8m depth spanning mass concrete pads

As an alternative to the improved ground in Option 2, Option 3 comprises supporting the proposed footings at a standard depth of 0,8m below existing ground level on mass concrete pads. The mass concrete pads would then need to be located at 1,5m depth below existing ground level and at all wall corners and intersections as well as at 2,0m centres. This spacing is based on a typical span for a standard unreinforced concrete footing.

As the founding conditions are relatively uniform and no significant cut to fill platforms are anticipated, it is not considered essential to reinforce the proposed concrete footings.

In terms of surface bed floors, it is recommended that the potentially expansive, clayey subsoils that will be encountered at surface bed floor level be undercut by at least 200mm and replaced with a lightly compacted layer of imported, select G5 material.

These preliminary founding options are based on the typical subsoil conditions established during this preliminary geotechnical investigation. Although conditions are not expected to vary significantly, site-specific founding recommendations are beyond the scope of this report and would obviously be dependent on design of the structure that is proposed. The above preliminary founding recommendations are therefore meant to be a guide and to be used for initial planning and costing purposes. A detailed geotechnical investigation would be required in accordance with the SANS 634 and NHBRC Guidelines.

**ALFRED KREBS**



**DIRECTOR**

-----oo0oo-----

# **APPENDIX 1**

*Inspection Pit Logs*

**PROJECT:** Preliminary Geotechnical Investigation, Portion 21 of Erf 10, Camperdown

**MACHINE:** HAND  
**DATE:** 7th February 2007

**INSPECTION PIT NO.**  
**I.P.** 1

**LOCATION:** Camperdown

**LOGGED BY:** M. Daniel

**ELEVATION:**

**DEPTH**  
(m)

**DESCRIPTION**

Slightly moist, dark greyish brown, very loose to loose, slightly clayey, silty fine to medium SAND.  
- Contains horizons of corestones at base varying from 0.1m to 0.2m in thickness. (Topsoil)

0.35m

Slightly moist, moderate brown mottled and blotched orange, very loose to loose, slightly clayey, silty fine to medium SAND.  
- Contains minor scattered gravel-sized Tillite corestones. (Colluvium)

0.90m

Slightly moist, dusky yellow mottled and blotched reddish brown/orange, firm/loose, fine to medium moderately clayey, silty SAND to SANDY SILTY CLAY.  
- Contains (W5/W4) pale yellow, highly weathered, very soft rock Tillite corestones below 1.20m (Residual Tillite)

1.50m

**WATER TABLE  
REFUSAL**

Not Encountered  
No Refusal



**DAVIES  
LYNN &  
PARTNERS**

**REF.No.**

N7211

**FIG.No.**

1.1

145

**PROJECT:** Preliminary Geotechnical Investigation, Portion 21 of Erf 10, Camperdown

**MACHINE:** HAND  
**DATE:** 7th February 2007

**INSPECTION PIT NO.**  
**I.P.** 2

**LOCATION:** Camperdown

**LOGGED BY:** M. Daniel

**ELEVATION:**

**DEPTH**  
(m)

**DESCRIPTION**

0.5

Slightly moist, dark greyish brown, very loose to loose, slightly clayey, silty fine to medium SAND.  
- Contains horizon of gravel-sized corestones at base varying from 0.1m to 0.2m, in thickness. (Topsoil)

0.60m

1.0

Slightly moist, moderate brown mottled and blotched orange, very loose to loose, slightly clayey, silty fine to medium SAND.  
- Contains minor scattered gravels and corestones. (Colluvium)

0.90m

1.5

Slightly moist, dark yellowish orange mottled and blotched dark brown and moderate reddish brown, loose, slightly to moderately clayey, silty fine to medium SAND. (Residual Tillite)

1.20m

2.0

Slightly moist, dusky yellow mottled and blotched reddish brown/orange, firm/loose, fine to medium moderately clayey, silty SAND to SANDY SILTY CLAY. (Residual Tillite)

1.50m

2.5

3.0

3.5

4.0

4.5

5.0

**WATER TABLE**  
**REFUSAL**

Not Encountered  
No Refusal



**DAVIES  
LYNN &  
PARTNERS**

**REF.No.**

N7211

**FIG.No.**

1.2

146

**PROJECT:** Preliminary Geotechnical Investigation, Portion 21 of Erf 10, Camperdown

**MACHINE:** HAND

**INSPECTION PIT NO.**

I.P. 3

**DATE:** 7th February 2007

**LOCATION:** Camperdown

**LOGGED BY:** M. Daniel

**ELEVATION:**

**DEPTH**  
(m)

**DESCRIPTION**

0.5

Slightly moist, dark greyish brown, very loose to loose, slightly clayey, silty fine to medium SAND.  
- Contains abundant gravels from 0.4m to 0.7m with scattered Tillite fragments/corestones. (Topsoil)

0.70m

1.0

Slightly moist, moderate brown mottled and blotched orange, loose, slightly clayey, silty fine to medium SAND.

- Contains minor amounts of gravel to boulder-sized Tillite corestones. (Colluvium)

1.10m

1.5

Slightly moist, dusky yellow mottled and blotched reddish brown/orange, firm/loose, fine to medium moderately clayey, silty SAND to SANDY SILTY CLAY. (Residual Tillite)

1.50m

2.0

2.5

3.0

3.5

4.0

4.5

5.0

**WATER TABLE  
REFUSAL**

Not Encountered  
No Refusal



**DAVIES  
LYNN &  
PARTNERS**

**REF.No.**

N7211

**FIG.No.**

1.3

147

**PROJECT:** Preliminary Geotechnical Investigation, Portion 21 of Erf 10, Camperdown

**MACHINE:** HAND  
**DATE:** 7th February 2007

**INSPECTION PIT NO.**  
**I.P.** 4

**LOCATION:** Camperdown

**LOGGED BY:** M. Daniel

**ELEVATION:**

**DEPTH**  
(m)

**DESCRIPTION**

0.5

Slightly moist, dark greyish brown, very loose to loose, slightly clayey, silty fine to medium SAND.  
- Contains abundant gravels from 0.4m to 0.6m. (Topsoil)

0.60m

1.0

Slightly moist, moderate brown mottled and blotched orange, very loose to loose, slightly clayey, silty fine to medium SAND.  
- Contains minor scattered gravels. (Colluvium)

0.90m

1.5

Slightly moist, dusky yellow mottled and blotched reddish brown/orange, firm/loose, fine to medium moderately clayey, silty SAND to SANDY SILTY CLAY.  
- Contains minor (W4/W5) highly weathered, very soft rock to soft rock Tillite corestones.

1.50m

End of Hole

2.0

2.5

3.0

3.5

4.0

4.5

5.0

**WATER TABLE  
REFUSAL**

Not Encountered  
No Refusal



**DAVIES  
LYNN &  
PARTNERS**

**REF.No.**

N7211

**FIG.No.**

1.4

148

**PROJECT:** Preliminary Geotechnical Investigation, Portion 21 of Erf 10, Camperdown

**MACHINE:** HAND  
**DATE:** 7th February 2007

**INSPECTION PIT NO.**  
**I.P. P1**

**LOCATION:** Camperdown

**LOGGED BY:** M. Daniel

**ELEVATION:**

**DEPTH**  
(m)

**DESCRIPTION**

Slightly moist, dark greyish brown, loose, slightly to moderately clayey, silty fine to medium SAND.  
- Contains moderate to abundant gravel to boulder sized Tillite corestones below 0.4m. (Topsoil)

0.60m

Slightly moist, moderate brown mottled and blotched orange, loose, slightly clayey, silty fine to medium SAND with abundant gravel-sized Tillite inclusions. (Colluvium)

0.80m

End of Hole

Percolation Rate = 130mm in 30mins

**WATER TABLE**  
**REFUSAL**

Not Encountered  
No Refusal



**DAVIES  
LYNN &  
PARTNERS**

**REF.No.**

N7211

**FIG.No.**

1.5

149

**PROJECT:** Preliminary Geotechnical Investigation, Portion 21 of Erf 10, Camperdown

**MACHINE:** HAND

**INSPECTION PIT NO.**

**I.P. P2**

**DATE:** 7th February 2007

**LOCATION:** Camperdown

**LOGGED BY:** M. Daniel

**ELEVATION:**

**DEPTH**  
(m)

**DESCRIPTION**

Slightly moist, dark greyish brown, very loose to loose, slightly clayey, silty fine to medium SAND.  
- Contains minor to moderate Tillite fragments and building rubble in top 0.3m and moderate to abundant Tillite corestones below 0.3m. (Topsoil/Fill)

0.50m

Slightly moist, moderate brown mottled and blotched orange, loose, slightly clayey, silty fine to medium SAND with abundant gravel-sized Tillite inclusions. (Colluvium)

0.80m

Percolation Rate = 36mm in 30mins

**WATER TABLE  
REFUSAL**

Not Encountered  
No Refusal



**DAVIES  
LYNN &  
PARTNERS**

**REF.No.**

N7211

**FIG.No.**

1.6

150

# **DRAWING**

N7211-01 Geotechnical Site Plan



# LEGEND

- Inspection Pit (IP) position
- Percolation Test (P) position
- ▲ Kowalski Percolation Test positions



DAVIES  
LYNN &  
PARTNER

CLIENT:

AMBER PRODUCTIONS 1

JOB TITLE:

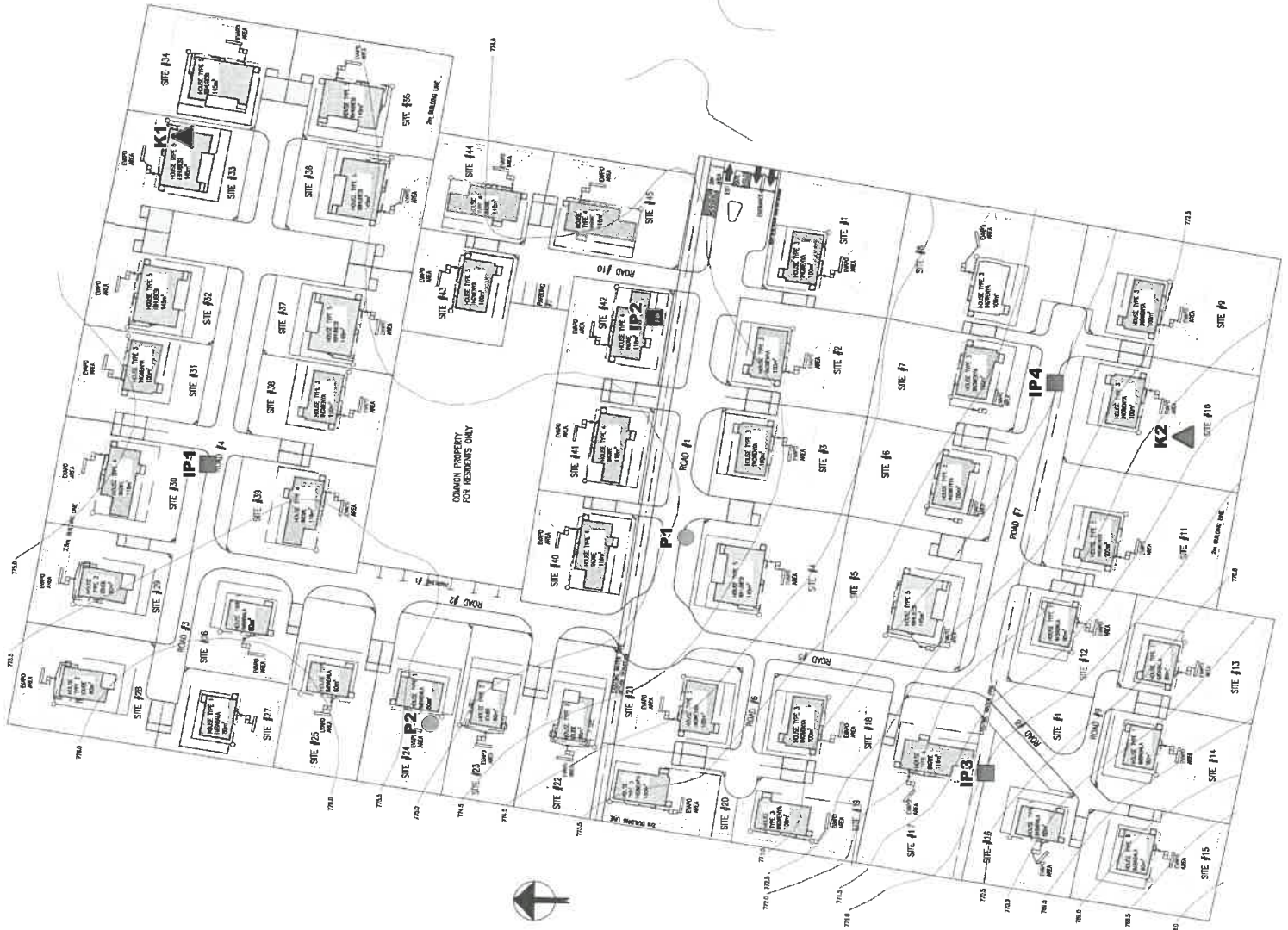
GEOTECHNICAL  
INVESTIGATION  
FOR THE PROPOSED NEW  
DEVELOPMENT ON  
PORTION 21 OF ERF 10  
CAMPERDOWN

DRAWING TITLE:

GEOTECHNICAL SITE PLAN

JOB NO. DRAWING NO.

N7211 N7211-01

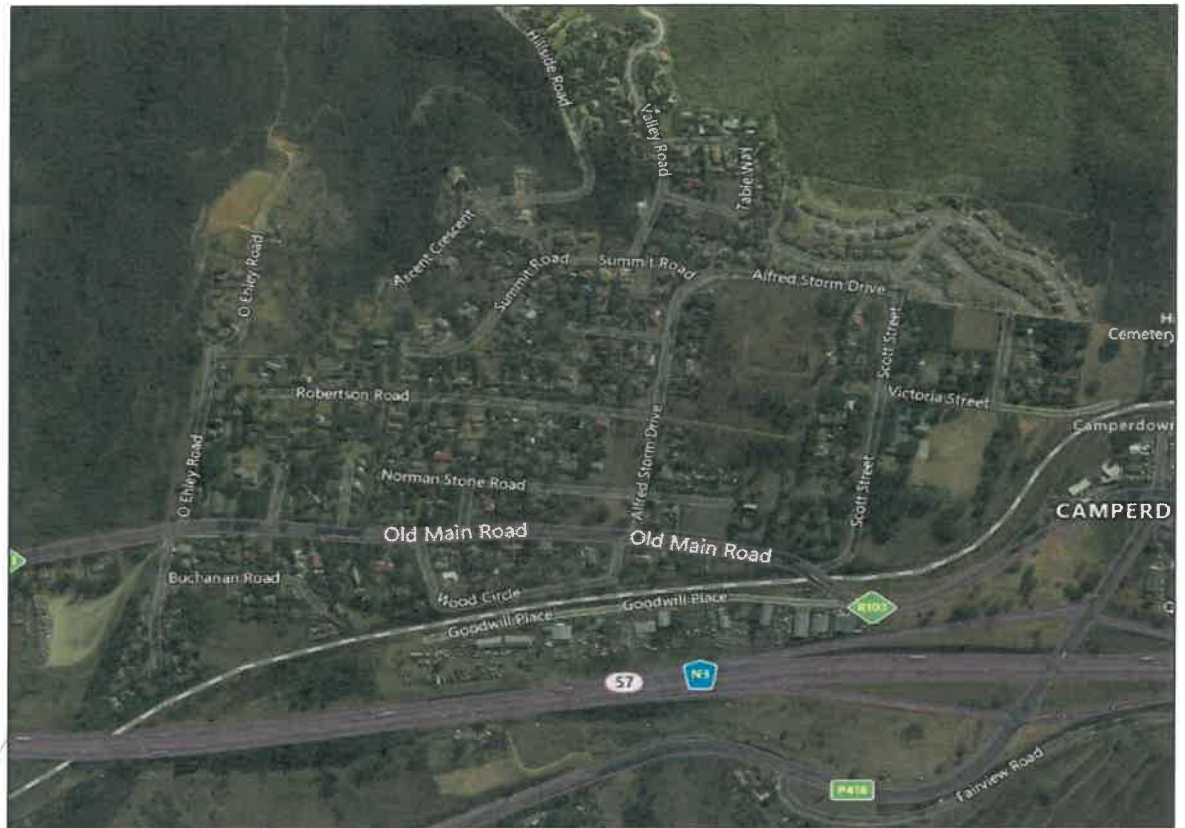


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7/3/2022

# Storm Water Management Plan

For ERF10, Portion 10 Camperdown Residential –  
Revision 1



Prepared by:



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## 1. Introduction

Umsunguli Project Management cc has been appointed by Amber Productions 1 CC to undertake a Stormwater Management Plan for the proposed development serving 45 sites, internal roads and 2 attenuation ponds. Portion 21 has an average size of 40257,42m<sup>2</sup>. The 45 units are classified as medium density housing which will entail a total of thirteen (13) 80m<sup>2</sup> units, sixteen (16) 100m<sup>2</sup> units, (8) 116m<sup>2</sup> and eight (8) 145m<sup>2</sup> units.

The proposed development which can be seen on **Figure 1** is situated along the old main road (R103) and amid Charlton place and Scott Street on Portion 21, ERF 10 and is within the District Municipality: Umgungundlovu, Local Municipality: Mkhambathini. The site can be accessed off Scott Street and the GPS coordinate of the proposed development is 29°43'33.37"S and 30°32'1.89"E

**Figure 1** indicates the locality plan of the proposed development.



**Figure 1:** Locality plan of Portion 21, ERF 10 Camperdown

The purpose of the Storm Water Management Plan is:

- The protection of development and public interests
- The preservation of the natural environment
- The preservation of the existing streams, wetlands and drainage lines
- The management of the expected increase of surface runoff into natural drainage areas
- Protection of underground resources and water quality
- Conservation of water and making it available to public
- The desire to provide optimum methods of controlling runoff
- Striving for sustainable environment while pursuing economic development

## 2. Existing System

The proposed development area will transform the existing undeveloped land to a housing development that will be providing services for 45 residential sites. There is no existing stormwater system in place, as the site is undeveloped, and thus all stormwater runoff flows towards the natural groundline to low points.

The current land development area is grassed, with a topography described as flat, with an average slope of 1.2% and a max slope of 5%. According to the geotechnical investigation, the site is situated on an elevated hilltop area with an average elevation of some 775m and the slopes very gently to the southwest at approximately 2° (1:30)

## 3. Proposed System

### 3.1 Overview

The proposed storm water system must be designed to have minimal impact on the natural drainage areas. Where possible, storm water should be collected into areas where it can be managed and released efficiently using techniques which will protect and preserve existing natural drainage areas.

The transformation of the undeveloped land to hardened surfaces increases the surface runoff from the transformed areas, and in order to preserve natural drainage areas, the increase of volume has to be attenuated. The collection of surface runoff will be diverted into earth embankment attenuation ponds releasing run-off to pre-development flow rates.

The attenuation areas will also be used in the landscaping plan as a focal point and feature for residents. Aesthetically pleasing bio-retention mechanisms such as reed beds and specialised vegetation may be included to ensure that the quality of the controlled release of run-off is not compromised.

The design methodology of the development will have an emphasis on dispersing and controlling run-off with two attenuation ponds with sizes of 152m<sup>3</sup> and 237m<sup>3</sup> respectively.

### 3.2 Erosion Control

The design of the storm water system must make provision for erosion protection, as the transformed area, after construction the development will have a greater surface run-off that will contribute to higher flows. It is therefore essential that erosion control measures be implemented along all roads and at storm water outlets, which could be a combination of stone pitching, silt traps, gabion baskets, energy dissipaters and grass lined drains.

Additional methods to minimise erosion within the development area include:

- Open exposed areas will be planted with grass or landscaped into gardens.
- Using natural rock and boulders to act as energy dissipaters.
- All exposed embankments should be covered in 100mm topsoil and planted with grass sods and staked to prevent washing away.
- Steep cut/fill embankments ( $> 1:2$ ) should be covered in Soilsaver with sufficient overlaps, covered in 100mm topsoil and planted with grass.

### 3.3 Surface run-off

The Home Owners Association will be dedicated to the operation of rainwater harvesting and the rainwater harvesting tanks will act at the first form of attenuation, whilst it could also serve other uses. Run-off from roofs will be captured in gutters and stored in rainwater tanks for the utilization of gardening and other domestic activities. Any overflow from the tank or gutters will be directed to an underground storage irrigation system including overland into hardened areas like roads and side drains before being collected in attenuation ponds, before overflows will disperse into the natural drainage areas and onto Alfred Storm Road, Scott Street, Victoria Street and eventually the Old Main Road(R103). It is also important that attenuation ponds be positioned such that it does not flood natural drainage areas.

The stormwater system must be kept separate from the proposed-on site sanitation system in the form of septic tanks and soakaways with evapotranspiration areas which will be situated at the rear side of the site and any contamination of surface runoff must be avoided.

## 4. Geology of site

A layer of topsoil was generally encountered from the ground surface to between 0,35m and 0,7m depth and was typically described as slightly moist, dark greyish, brown, very loose to loose, slightly to moderately clayey, silty, fine to medium sand. A distinct pebble marker defines the base of this horizon and comprised typically gravel-sized tillite corestones and/or weathered tillite fragments.

Colluvium (transported soil) was encountered immediately beneath the topsoil and extending to between 0,9m and 1,1m depth. The colluvium was typically described as slightly moist, moderate brown mottled and blotched orange, very loose to loose, slightly clayey, silty, fine to medium SAND containing minor scattered gravels and small tillite corestones

Weathered tillite bedrock was not encountered during this shallow investigation to the maximum depths excavated of 1,5m below existing ground level.

The founding conditions across the site are relatively uniform and comprise essentially clayey colluvial and residual tillite subsoils.

## 5. Internal roads

Amber Productions had produced a general layout indicating all 10 roads with a varying length and a width of 5.5m and a sidewalk with interlocking paving and driveways with an asphalt surfacing. The hardened surface area from the road network is one of the main contributing factors in the increased run-off within the development.

The geometric design of the internal road network will include crossfalls that direct the run-off into grass lined side drains which collect into a catchpit. From that point it will be conveyed through a closed conduit such as a concrete ogee pipe and finally outlet into one of the attenuation ponds.

The storm water infrastructure will be constructed in accordance with the *"Guidelines for Human Settlement Planning and Designs"*, service agreements concluded or municipal bylaws, where applicable.

For sizing and design of storm water infrastructure, calculation of the anticipated storm water run-off will be determined on the assumption that all roads and parking be considered hardened with an appropriate coefficient of run-off for storm water volumes. Infrastructure will also incorporate any overflow from the tank or gutters directed overland from the natural drainage areas leading to affected road infrastructure.

The standards for the storm water infrastructure to be installed in the proposed development can be summarised as follows:

➤ Flood recurrence interval	:	5 years and at critical points 10 years
➤ Attenuation structures	:	50 years
➤ Pipe material	:	Concrete
➤ Pipe Class	:	100D in traffic areas, 50D in other areas
➤ Pipe diameters	:	300mm Ø (minimum)
➤ Bedding	:	Class C
➤ Inlets	:	Splayed Catchpits / Steel Grids
➤ Outlets	:	Headwalls
➤ Junctions	:	Points of deflection on pipelines
➤ Road / Parking surface	:	Block paving and Asphalt with suitable layers

## 6. Storm Water Management

The objective of a storm water management plan should be to manage the storm water resources of the collective watersheds to:

- Prevent flood damage or concentration of run-off
- Divert storm water and surface run-off from buildings, roads and parking areas into attenuation ponds
- Protect and ensure wetland functionality downstream
- Preserve the natural and beneficial functions of the natural drainage system downstream
- Preserve and enhance storm water quality
- Attenuate the difference between pre and post development flows

The proposed storm water management system has been designed to be self-regulating with no external control. It will aim to collect run-off into conduits and attenuate the increase in flow between the pre and post development stages through means of multiple attenuation ponds located within the various drainage areas.

The run-off from the hardened areas is routed overland, collected in catch pits and passes through concrete stormwater pipes to flow into one the attenuation ponds which will attenuate the increased flow. The discharge from the attenuation ponds is further controlled by an outlet structure and pipework that is designed to restrict flow to pre development flow rates from where it will be released into the natural drainage areas.

## 7. Storm Water Runoff

Current storm water runoff volumes are based on the following information and assumptions:

- Site Development Plan;
- Total no of 45 residential sites;
- A width of 5.5m for internal roads;
- An average hardened transformed area of 110m<sup>2</sup> per site; &
- The use of grass lined drains, catchpits and storm water pipe network to collect, transport and divert run-off into attenuation areas.

The storm water run-off has been calculated using the accepted “Rational Method” that takes into account the drainage area, nature of the soil surface and the storm intensity. The storm intensity used for calculation purposes is:

- 41,3mm for a 1:50 year return period (Municipality standards)
- Time of Concentration is 15 minutes
- Retention time is 15 minutes

This equates to a storm intensity 165mm/hour for a 1:50 year storm return period. For this development a 1:50 year return period will be used for more conservative calculations.

Allowances have been made for the various areas and their contribution to the flow and the coefficient of discharge for the various areas is as follows:

- Pre development grassed areas are taken as 0,35
- Post development grassed areas are taken as 0,45
- Buildings are taken as 0,85
- Roads and Parking areas are taken as 0,85

Due to the undulating topography, run-off will be managed and isolated in two strategic points throughout the development and these collection points will also contribute positively to focal points within the landscaping plan.

The site can be divided into two drainage and collection areas. Only the hardened areas will contribute to the increase in run-off, as the pre and post development stages of the remaining areas will remain grass. Table 1 depicts how each drainage and collection area is divided into hardened and grass portions. Roughly 40% of the development area will be transformed into hardened surfaces and 60% will remain in some form of vegetation.

<b>Camperdown Residential - Summary of Site Coverage</b>									
<b>Zone Number</b>	<b>Site Size (m<sup>2</sup>)</b>	<b>Pre-Development</b>		<b>Post Development</b>					
		<b>Grass</b>	<b>%</b>	<b>Grass</b>	<b>%</b>	<b>Buildings</b>	<b>%</b>	<b>Roads/parking</b>	<b>%</b>
1	26194	26194	100	15476	59,1	5653,932	21,6	5064	19,3
2	25696	25696	100	15307	59,6	5857,239	22,8	4531	17,6

Table 1: Camperdown residential summary of site coverage

The pre and post development run-off has been calculated for each of the two collection areas and the size of each of the attenuation ponds are tabulated in Table 2.

<b>Camperdown Residential - Summary of Site Coverage</b>					
<b>Area Number</b>	<b>Site Size (m<sup>2</sup>)</b>	<b>Pre-Development Flow (m<sup>3</sup>/sec)</b>	<b>Post Development Flow (m<sup>3</sup>/sec)</b>	<b>Increase in flow (m<sup>3</sup>/sec)</b>	<b>Attenuation Required (m<sup>3</sup>)</b>
1	26194	0,349	0,603	0,254	229
2	25696	0,296	0,592	0,296	266

Table 2: Summary of stormwater calculations

The detailed calculations of the storm water run-off for the pre and post development phases throughout the entire development are attached as Annexure B.1 for reference purposes. Recommended Sizing of attenuation ponds can be found in Annexure B.2.

## 8. Storm Water Flow Attenuation

The need for attenuation of the storm water flow is recognised in order to minimise the peak flow during post development, before the eventual controlled discharge into the natural drainage areas.

Effectively, once a drainage area's increased run-off has been attenuated, the outflow of the area will be equal to the pre-development flow. Thereafter, the pre-development flow will normally drain into local storm water infrastructure leading to the natural drainage areas located along the lower end of the development while ensuring the integrity of such environmentally sensitive areas are not compromised.

Stormwater attenuation calculations have been performed using:

The Rational Method  $Q = \frac{f_t * C * A * I}{(1000 * 3600)}$ , where

Q = the maximum/peak rate of run-off in cubic metres per second (m<sup>3</sup>/s)

f<sub>t</sub> = an adjustment factor for the recurrence interval storm considered

C = run-off coefficient

I = rainfall intensity (mm/hour)

A = area of the catchment in hectares (m<sup>2</sup>) (1ha = 10,000m<sup>2</sup>)

The following basic factors were used during the calculations, being:

- Return Period of 1:50 years – Rainfall intensity of 165mm/hour
- f<sub>t</sub> of 0,83 is used for 10 year reoccurrence period
- Time of Concentration = 15 minutes
- Retention Time = 15 minutes

The attenuation ponds can vary in depth depending on site requirements, this report assumed a depth of 1.8m, which allows a 300mm silt trap at the base of the attenuation pond and an effective storage depth of 1,5m. A freeboard of at least 0,5m should be allowed over and above the full water level to prevent overtopping.

Two types of attenuation ponds are available, being overflow and underflow types. The overflow type presents a retention pond, as it remains full, whilst the underflow type attenuates the flow and releases it at pre-development flows, which is preferred for this development.

The two attenuation ponds have been positioned so as to blend in with the development and landscaped areas. The inside of the ponds will be natural ground and earth cut/fill embankments will be grassed with cut and fill slopes of 1:2. Each pond will have a 1,5m wide levelled section with erosion protection at all pipe outlets. Typical storm water attenuation pond details can also be seen Annexure C of this report.

The Table 3 below indicate the sizes needed for both attenuation ponds.

Attenuation Pond Dimensions (1:5 slope)		
Pond #	1	2
Volume required + 10% (m <sup>3</sup> )	251,90	292,60
Height (m)	1,5	1,5
Smaller radius R1 (m)	6,16	6,72801046
Larger radius R2 (m)	8,41	8,98
Area 1 (top/water level) (m <sup>2</sup> )	222,06	253,23
Area 2(Base) (m <sup>2</sup> )	119,11	142,21
Free board (m)	0,50	0,50
Area top for spacing (m <sup>2</sup> )	258,29	291,83

Table 3: Attenuation Pond Dimensions (1:5 slope)

## 7.1 Housing unit management

Each house will comprise of a grass drain so that the stormwater can drain into the catchpits along the stormwater pipes and into the attenuation pond. All roof water will be fed from the gutters into a 2500l storage tank situated at the end of each house. This storage water will be used for vehicle washing, garden taps and toilet flushing.

Sites 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45 and the parking area drains onto Roads 3 and 4 and into the catchpit that conveys the stormwater into attenuation pond 1 and through Road 9 and thus into an outlet on road 1, leading to Victoria Street. **Figure 2** displays the direction of flow, the area that attenuation pond 1 covers and the position of attenuation pond 1.

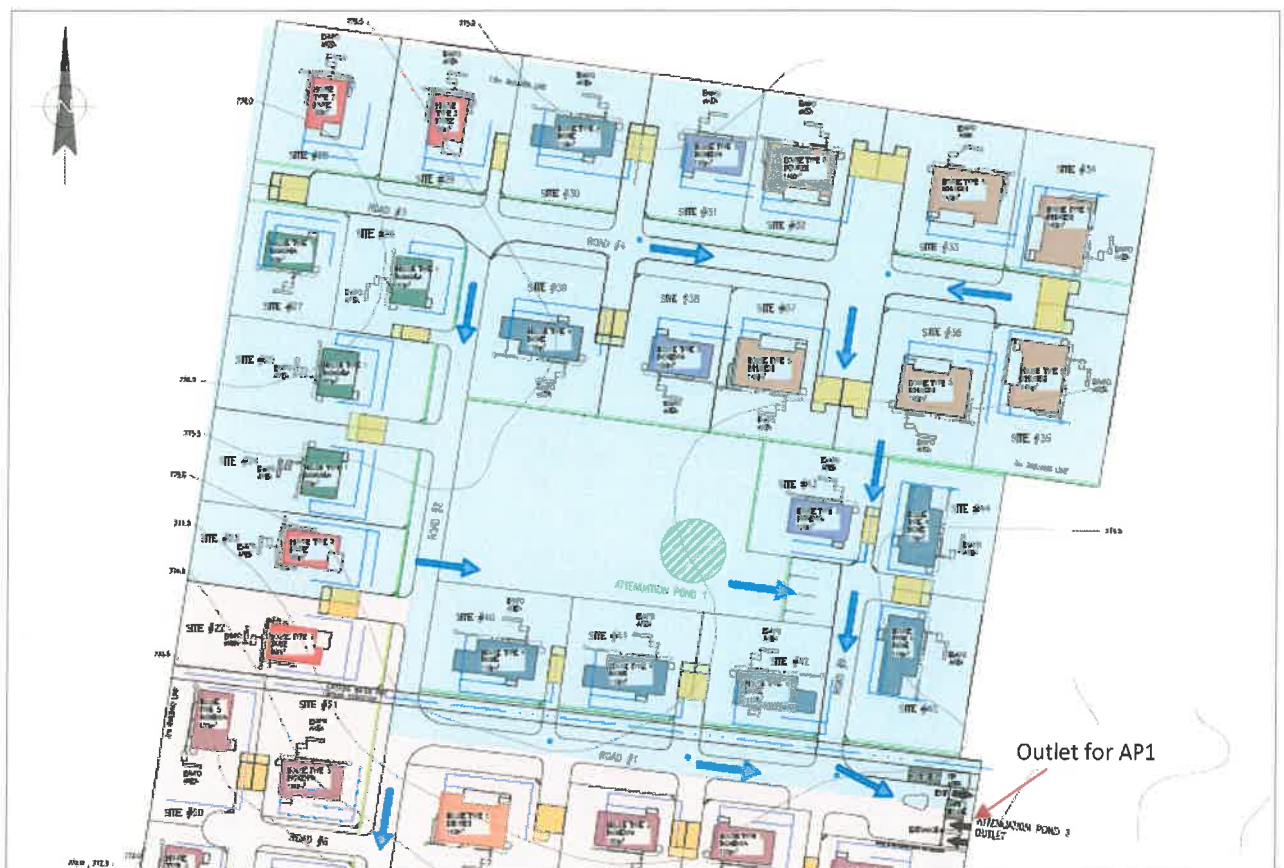


Figure 2: Drainage to attenuation pond 1

Sites 1, 2, 3, 4, 5, 6, 7, 8, 10, 11, 18, 19, 20, 21 and 22 drains onto Roads 5, 6 and 7 and thus to the attenuation pond 2. Stormwater harvesting will be implanted in the form of JoJo tanks for sites 12, 13, 14, 15, 16, 17 which is due to the low ground levels at these sites that cannot be conveyed to attenuation pond 2. The diagram below on **Figure 3** displays the direction of flow of the stormwater for attenuation pond 2.

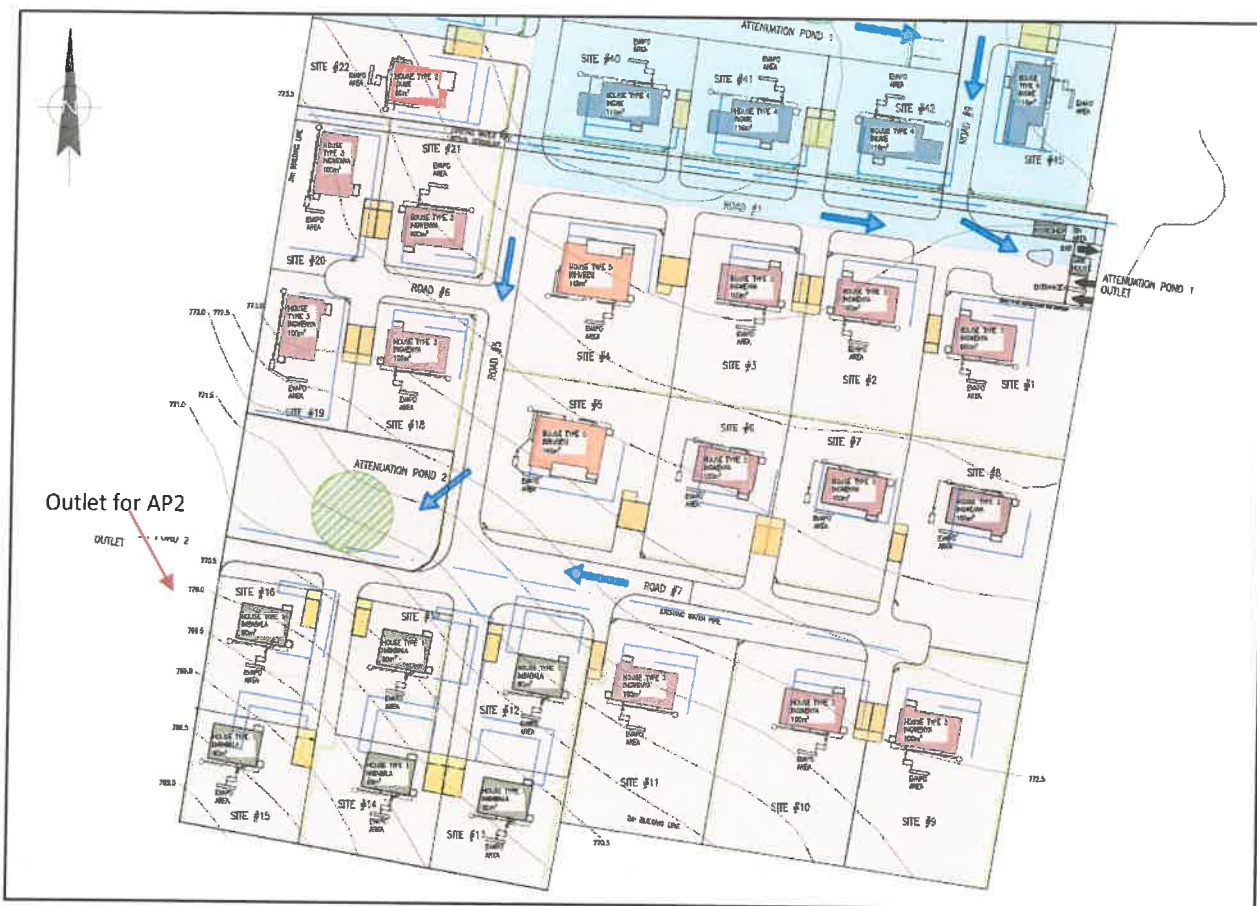


Figure 3: Drainage to attenuation pond 2

## 7.2 Stormwater pipe design

The stormwater pipes will be designed according to the expected flows produced by the rational method of the entire catchment area as well as the extra runoff produced by the post development. For the preliminary designs, inlet control will be used to simplify the calculations for each option. In the detail design a comparison between inlet and outlet control will be performed in order to gain accurate dimensions for the culvert. During the construction period, sandbags and silt screens have to be provided downstream of the stormwater pipe to prevent silt entering the stream. Further mitigation measures would be to construct the temporary crossings with rock, stone and granular material with low clay content to prevent silt washing out. The temporary crossing will be provided with temporary stormwater pipes to allow base flow, if any, to flow during the construction period.

## 8. Monitoring and Maintenance

### 8.1 Monitoring

The storm water system must to be monitored during construction at regular intervals by the Environmental Control Officer (ECO) in terms of the Environmental Management Programme (EMPr).

During the construction phase of the development, the construction process should be monitored against the EMPr, but should pay attention to the following aspects:

- Implementing temporary attenuation measures, such as earth berms to retain surface run-off until the attenuation areas are complete and functional.
- The construction of the stormwater pipes and attenuation ponds should preferably be constructed during the dry season when surface run-off will have the least impact on construction activities.
- Providing a silt screen at all grid inlets to collect debris and silt during times of heavy rain.
- Controlling dust, especially during the construction of roads and house platforms.
- Placing topsoil and grass sods onto cut/fill embankments to reduce runoff and velocity, including the use of Soilsaver where embankments are steep.

On completion of the construction, the Home Owners Association will be responsible to monitor their internal storm water system and attenuation facilities to identify improvements / maintenance. The factors to be monitored include the functionality and impact of the system on properties, roads and open areas further downstream, whether the attenuation pond and silt trap are functioning and are adequate.

The post development monitoring process should be done at regular intervals (suggested 6 monthly) to include the following activities:

- Product (open grass lined drains, grid inlets, splay inlets, headwalls, concrete pipes, attenuation pond structure, overflow/outlet structure)
- Type of maintenance (rehabilitation, improvement, new)
- Urgency (immediate, next 6 months, next 12 months) and description of work to be carried out

### 8.2 Operation and Maintenance

The stormwater system, as designed, requires no manual operation and is self-regulating. Maintenance work should be undertaken as required to restore and maintain the system to its original design.

The operation and maintenance of the storm water system is essential to ensure it functions properly to prevent damages or failures and must receive high priority from the Home Owners Association. The collection of refuse in open grassed areas and removing it from inlet structures is an important factor, especially as the majority of stormwater run-off is diverted into attenuation ponds. During the construction period, it is important that surface runoff is monitored, controlled and temporary measures be implemented until the construction is complete and the system can function independently. This is therefore an important aspect to be monitored by the ECO during the construction stage.

Routine maintenance will be the responsibility of the Home Owners Association and should include:

- Clearing of side drains, storm water pipes and collection points
- Removal of silt from collection points and silt traps in attenuation ponds
- Plant/weed control
- Cutting grass on embankments

It is however recommended that specialist service providers implement more technical works like the replacement of storm water pipes and remedial work to the attenuation areas, if required.

## 9. Recommendations

The following recommendations are made for the proposed Camperdown Residential Development of 45 residential sites:

- 1.1 Stormwater management should comply with municipal bylaws and other legislations where applicable.
- 1.2 The upper residential dwellings will consist of grass drains that will channel the storm water into the system which will attenuate to attenuation pond 1 and conveyed to an outlet located on Victoria Street and stormwater harvesting will be implanted in the form of JoJo tanks for the bottom left sites
- 1.3 The bottom half of the residential dwellings will drain into attenuation pond 2 via grass drains and storm water pipes.
- 1.4 All residential dwellings should utilise the 2500l storage tank and ensure that it is emptied consistently.
- 1.5 The storm water system must be kept separate from the on site sanitation system.
- 1.6 All chemicals, cement, fuel and other hazardous material used during construction should be stored in controlled areas.
- 1.7 Concentration of storm water should be prevented where possible, but energy dissipaters should be provided in areas of concentration.
- 1.8 On completion of the construction of buildings, roads and parking areas, all remaining exposed embankments and open areas must be vegetated as soon as possible, including the use of "Soilsaver", where necessary.
- 1.9 The attenuation ponds must have some form of a silt trap mechanism.
- 1.10 During the construction phase, the following aspects should be closely monitored to ensure the contractor complies:

- Temporary berms and cut-off drains must be provided on site to collect run-off, especially until the attenuation ponds are complete and functional.
- Silt screens must be provided at the grid inlets / splayed construction during road construction.
- Topsoil must be conserved on site and prevented from entering the stormwater system.
- Exposed embankments, cut/fill slopes and open areas must be vegetated as soon as possible to reduce runoff.
- Dust control during construction must be applied at all times.
- Excess spoil material from topsoil or bulk earthworks must be placed in areas or even removed entirely off site to minimise silt deposition, scouring and soil erosion.
- Post construction, all exposed areas must be covered in vegetation, grass or landscaped.

# ANNEXURE A:

## A.1 SITE DEVELOPMENT PLAN



Figure 4: Site Development Plan

## A.2 STORM WATER LAYOUT

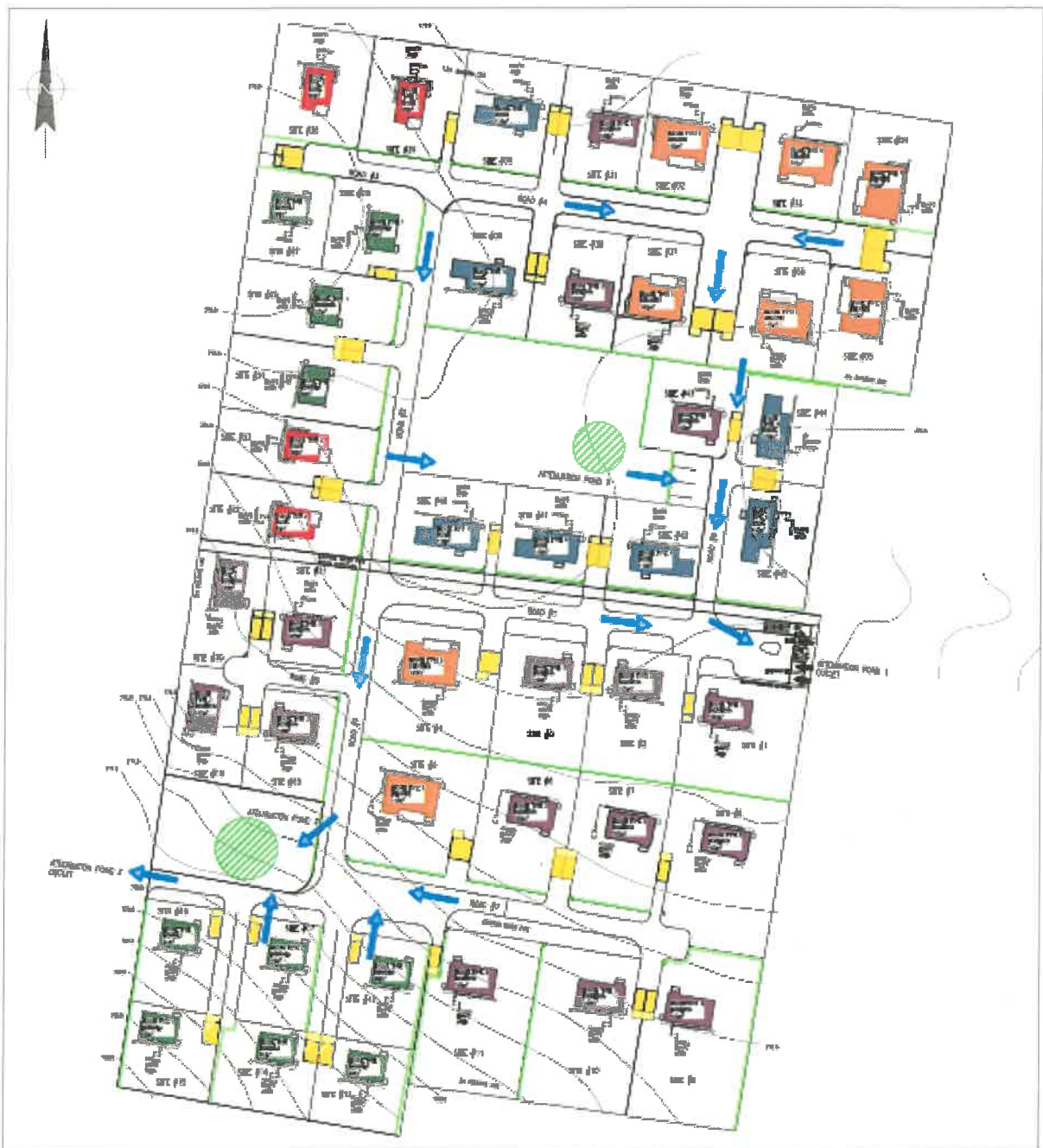


Figure 5: Storm Water Layout

## **ANNEXURE B: STORM WATER LAYOUT FOR ATTENUATION POND 1 AND**

## B.1 STORM WATER CALCULATIONS

CAMPERDOWN RESIDENTIAL HOUSING									
Overland Time of concentration Tc	L	1	Km	MAP	876	mm/annum	From program		
	H	87	m						
	Sav	8,70%		Point Rainfall	125	mm	From Graphs		
	r	0,4							
	Tc	0,6963398	hours	Regional factor	65,47462248	Formula			
		41,780387	minutes	MAP factor	1,6771	Formula	mm/year		
TIME OF CONCENTRATION:	41,78039	minutes	Choose closest	15					
RETURN PERIOD:	1:50	years	1:20 for culverts	Municipality standards					
DEPTH (1:10) INTENSITY:	88,94407	mm/hour					DEPTH (1:20) INTENSITY:	109,8075	mm/hour
DEPTH (1:50) INTENSITY:	142,7497	mm/hour	165				DEPTH (1:100) INTENSITY:	175,692	mm/hour
AVERAGE INTENSITY, IT	138,6541	mm/hour							
PRE-DEVELOPMENT RUN OFF CALCULATIONS									
Surface Description	Unit	Amount	Area (m <sup>2</sup> )	C	Ft	A*C*Ft	Peak Flow (1:50) (m <sup>3</sup> /sec)		
Undeveloped Land	m <sup>2</sup>	26194	26194,00	0,35	0,83	7609,36	0,35		
TOTAL			26194			Qri(pre)	0,35		
POST DEVELOPMENT RUN OFF CALCULATIONS									
Surface Description	Unit	Amount	Area (m <sup>2</sup> )	C	Ft	A*C*Ft	Peak Flow (1:50) (m <sup>3</sup> /sec)	Area of sites	% building area
Grassed areas (un-touched)	m <sup>2</sup>	2284	2283,56	0,35	0,83	663,37	0,030	18846,44	5653,932
Grassed areas (on-plots)	m <sup>2</sup>	13193	13193	0,45	0,83	4927,40	0,226	18846,44	13192,508
Roofed Areas	m <sup>2</sup>	5653,932	5653,932	0,85	0,83	3988,85	0,183		
Roads/parking	m <sup>2</sup>	5064	5064	0,85	0,83	3572,65	0,164		
TOTAL			26194			Qri(post)	0,603		
PRE-DEVELOPMENT RUN OFF				314					
Vri(pre)=Qri*60*Tc(m <sup>3</sup> )									
POST-DEVELOPMENT RUN OFF				543					
Vri(post)=Qri*60*Tc(m <sup>3</sup> )									
REQUIRED STORAGE (m <sup>3</sup> ) [Vri(post) - Vri(pre)]				229					

Table 4: Stormwater Calculations-AP1

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## B.1 STORM WATER CALCULATIONS

CAMPERDOWN RESIDENTIAL HOUSING										
Overland Time of concentration Tc	L	1	Km	MAP	876	mm/annum	From program			
	H	87	m							
	Sav	8,70%		Point Rainfall	125	mm	From Graphs			
	r	0,4								
	Tc	0,696339785	hours	Regional factor	65,47462	Formula				
		41,7803871	minutes	MAP factor	1,6771	Formula	mm/year			
TIME OF CONCENTRATION:	41,7803871	minutes	Choose closest	15						
RETURN PERIOD:	1:50	years	1:20 for culverts	Municipality standards						
DEPTH (1:10) INTENSITY:	88,94406639	mm/hour					DEPTH (1:20) INTENSITY:	109,8074894	mm/hour	
DEPTH (1:50) INTENSITY:	142,7497362	mm/hour	165				DEPTH (1:100) INTENSITY:	175,691983	mm/hour	
AVERAGE INTENSITY, IT	138,6541418	mm/hour								
PRE-DEVELOPMENT RUN OFF CALCULATIONS										
Surface Description	Unit	Amount	Area (m2)	C	Ft	A*C*Ft	Peak Flow (1:50) (m3/sec)			
Undeveloped Land	m²	25696	22207,98	0,35	0,83	6451,42	0,30			
TOTAL			22207,98			Qri(pre)	0,30			
POST DEVELOPMENT RUN OFF CALCULATIONS										
Surface Description	Unit	Amount	Area (m2)	C	Ft	A*C*Ft	Peak Flow (1:50) (m3/sec)	Area of sites	% building area	
Grassed areas (un-touched)	m²	1640	1640,4	0,35	0,83	476,54	0,022	19524,13	5857,239	ROOFED AREA
Grassed areas (on-plots)	m²	13667	13667	0,45	0,83	5104,58	0,234	19524,13	13666,891	GRASS ON PLOTS
Roofed Areas	m²	5857,239	5857,239	0,85	0,83	4132,28	0,189			
Roads/parking	m²	4531,47	4531,47	0,85	0,83	3196,95	0,147			
TOTAL			25696			Qri(post)	0,592			
PRE-DEVELOPMENT RUN OFF				266						
Vri(pre)=Qri*60*Tc(m3)										
POST-DEVELOPMENT RUN OFF				533						
Vri(post)=Qri*60*Tc(m3)										
REQUIRED STORAGE (m3) [Vri(post) - Vri(pre)]				266						

Table 5: Stormwater Calculations-AP1

# ANNEXURE C

## C.1 PRACTICAL EXAMPLE OF ATTENUATION POND PREVIOUSLY BUILT IN THE AREA



Figure 6: Attenuation Pond Example

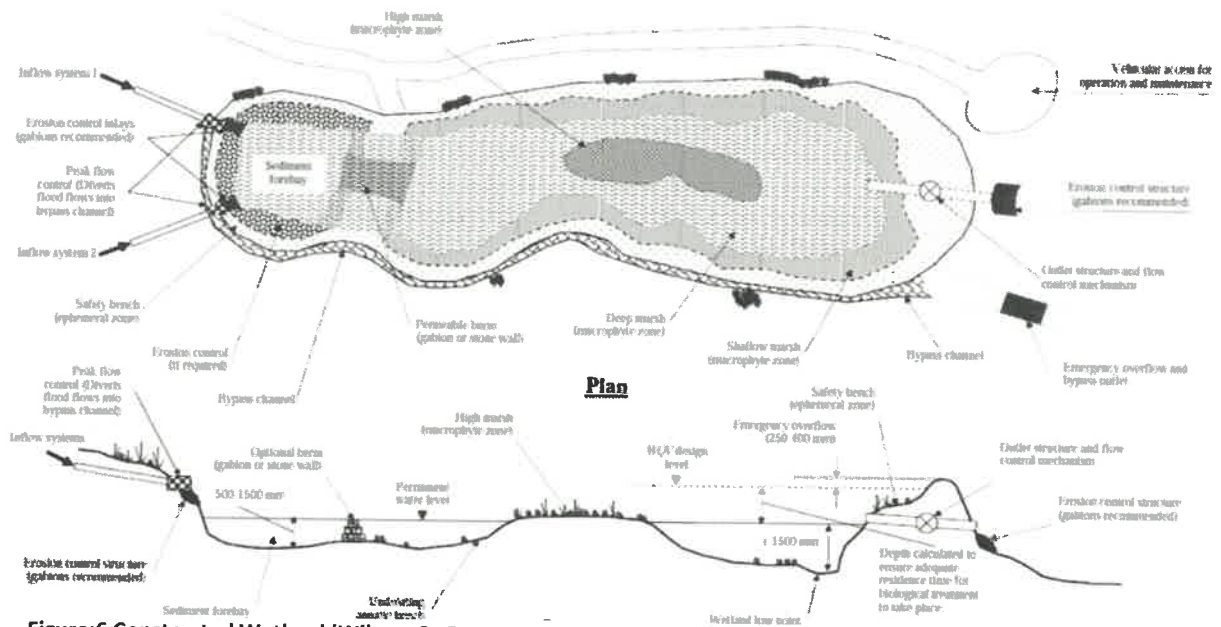


Figure:6 Constructed Wetland (Wilson, S., Bray, R. & Cooper, P. (2004), Sustainable drainage systems: Hydraulic, structural and water quality advice)



Figure 7: Constructed Wetland (AECOM: Brentwood Estate, Queensland, Australia)

Ref No: UPM267/2.4

02<sup>nd</sup> March 2021

NET Projects CC  
2B Hofmeyer Road  
Winston Park  
3610

Attention: Mr Nevil Tyler

## **CAMPERDOWN RESIDENTIAL DEVELOPMENT: TRAFFIC STATEMENT**

### Introduction

A traffic investigation was conducted at the proposed development to determine the existing traffic volume, analyse the existing traffic condition, turning movement of vehicles at intersections on the routes that will be associated to the development and to conclude if there is a need for road upgrades or alternative routes that will not disrupt the current traffic due to the proposed housing development.

The proposed residential Camperdown housing development will comprise of thirteen (13) 80m<sup>2</sup>, sixteen (16) 100m<sup>2</sup>, eight (8) 116m<sup>2</sup> and eight (8) 145m<sup>2</sup> units. The main entrance to the development is located 288m from the Old Main Road R103 with access of Scott Street. The development GPS coordinates of the main access road are 29°43'33.37"S and 30°32'1.89"E.

### Traffic Generation

The number of per trips per day is below the threshold of 50 vehicles/hour and therefore does not require a traffic impact assessment but a traffic statement. Traffic generation will be limited to residents and all vehicles are expected to be light vehicles, with heavy vehicles limited to delivery trucks, home removal and refuse collection. Although it is not expected that all residents will have vehicles, the traffic generation will be based on 1 parking for unit types 1 to 4 and 2 parking's for units type 5. This configuration is expected to generate 1.5 trips per household per day which is 67 trips per day.

Access to the medium dense development will be off Scott Street, which is linked to Old Main Road, although vehicles may also go into Camperdown via other backroads. The development is designed to have 1 parking for unit types 1 to 4 and 2 parking's for units type 5. See Figure 1 for the locality plan of the development.

### Future Growth

There is no future growth expected in terms of vehicle trips, due to the limited number of units and parking space and therefore a 0% growth is projected.

### Existing Road Infrastructure

The proposed development gains access off Scott Street, which is linked to Old Main Road(R103). Each of these intersections are described in more detail below:

1. Intersection at Alfred Storm Drive off the R103

This intersection is surfaced and stop controlled. The intersection conforms to a Type B3 standard imposed by the Department of Transport and is in a good condition and functions well.

At R103 West and turning right traffic would be coming Bishop Street, Thomas Jee Road, Queen Elizabeth Road, Shepstone Street, Library Road, Victoria Street, Scott Street and Alfred Storm Drive. At R103 East, the traffic would be coming from the N3, O Ehley Road, Leyland place, Valley Road, Hillside Road, Table Way, Summit Road, Horizontal Place, Robertson Road, Wood Circle, Norman Stone Road, Alfred Storm Drive, Scott Street and Charlton Place.

This intersection is functioning well and the proposed development will not change the level of service.

2. Intersection at Scott Street

This intersection is surfaced and stop controlled. The intersection conforms to a Type B3 standard imposed by the Department of Transport and is in a good condition and functions well.

For Scott Street turning left and right, traffic would be coming from Eagles Air Development, Bisset Street, Victoria Street and Alfred Storm Drive.

The table below indicates the actual and required sight distance from turning left and turning right onto the intersection.

Intersection sight distance with a design speed of 60km/hr		
	Turning Left	Turning Right
Actual (m)	189	106
Required (m)	165	101

Table 1: Intersection sight distance.

The actual distance for turning left at the Scott Street and R103 intersection is 189m and the required distance for turning left is 165m, which is found to be acceptable according to design guidelines and the actual distance for turning right at the Scott Street and R103 intersection is 106m and the required distance for turning right is 101m and is therefore acceptable. It is recommended that road rumble strips and a concealed driveway signage are installed at the intersection to improve awareness and general road safety

This intersection is functioning well and the proposed development will not change the level of service.

The major traffic at peak time (07:00-08:00 AM) comes from the R103 east which consists of mostly light motor vehicles and at peak time (15:30-17:30 PM) the major traffic is at R103 west and R103 east which also consists of mostly light motor vehicles.

37.3% of light motor vehicles goes towards the R103 east and 80.6% of heavy vehicles the R103 east at peak morning. 44% and 38% of light motor vehicles utilises the R103 west and R103 east respectively and 70% of heavy vehicles goes towards the R103 west at peak noon.

The image below depicts the traffic movement at the R103 and Scott Street intersection.



Figure 1: Traffic direction at R103 and Scott Street

The table below indicates the summary of volume of traffic from the traffic count at intersections R103 and Scott Street

TRAFFIC COUNT SUMMARY								
Date	Time	Type of motor vehicle	R103 west	R103 west turning right	R103 East	R103 East turning left	Scott Street turning left	Scott Street turning Right
17-01-2022	07h00-08h00	Light	58	19	104	1	21	3
17-01-2022	07h00-08h00	Heavy	7	0	24	0	0	0
19-01-2022	07h00-08h00	Light	73	73	125	7	45	12
19-01-2022	07h00-08h00	Heavy	6	0	25	0	0	0
19-01-2022	15h30-17h30	Light	212	50	186	7	25	7
19-01-2022	15h30-17h30	Heavy	31		13			

Table 2: Summary of traffic count

Observations during traffic count on the 17<sup>th</sup> of January 2022 at AM & PM:

1. No vehicles stopped waiting for passing traffic on the R103.
2. Some of the construction tip trucks (20) will not be present once the N3 upgrade is completed and must be discounted, as they are temporary during the construction period
3. The majority of Scott Street traffic turns left.
4. Eagles Aire development at the end of Scott Street has 60 units but presently occupied by mainly pensioners and hence does not contribute to the morning traffic peak.
5. There was no activity at the Municipal Hall during the time under review.

Observations during traffic count on the 19<sup>th</sup> of January 2022 at AM:

1. 4 vehicles stopped waiting for passing traffic on the R103 at various times.
2. 5 vehicles stopped waiting to access the R103 from Scott Street at various times.

3. Some of the construction tip trucks (22) will not be present once the N3 upgrade is completed and must be discounted.
4. The majority of Scott Street traffic turns left 45 against 12.
5. 80 vehicles turned into Scott Street where as only 57 exited. The school traffic is minor about 50 vehicles in the hour. 1 per minute.
6. There was no activity at the Municipal Hall during the time under review.

Observations during traffic count on the 19<sup>th</sup> of January 2022 at PM:

1. Some of the construction vehicles (34) are temporary and are discounted
2. Half of the traffic Turning, from the R103 west, Right returned from the school after collecting children.
3. The peak of 30 vehicles in 10 minutes equates to 1 vehicle every 20 seconds
4. Other flows averaged 16 vehicles per 10-minute period or 1 vehicle every 37 seconds.
5. Pedestrian traffic was minimal

The graph below depicts the volume of traffic at each direction and can be seen that the 103 west and R103 East are frequently utilised.

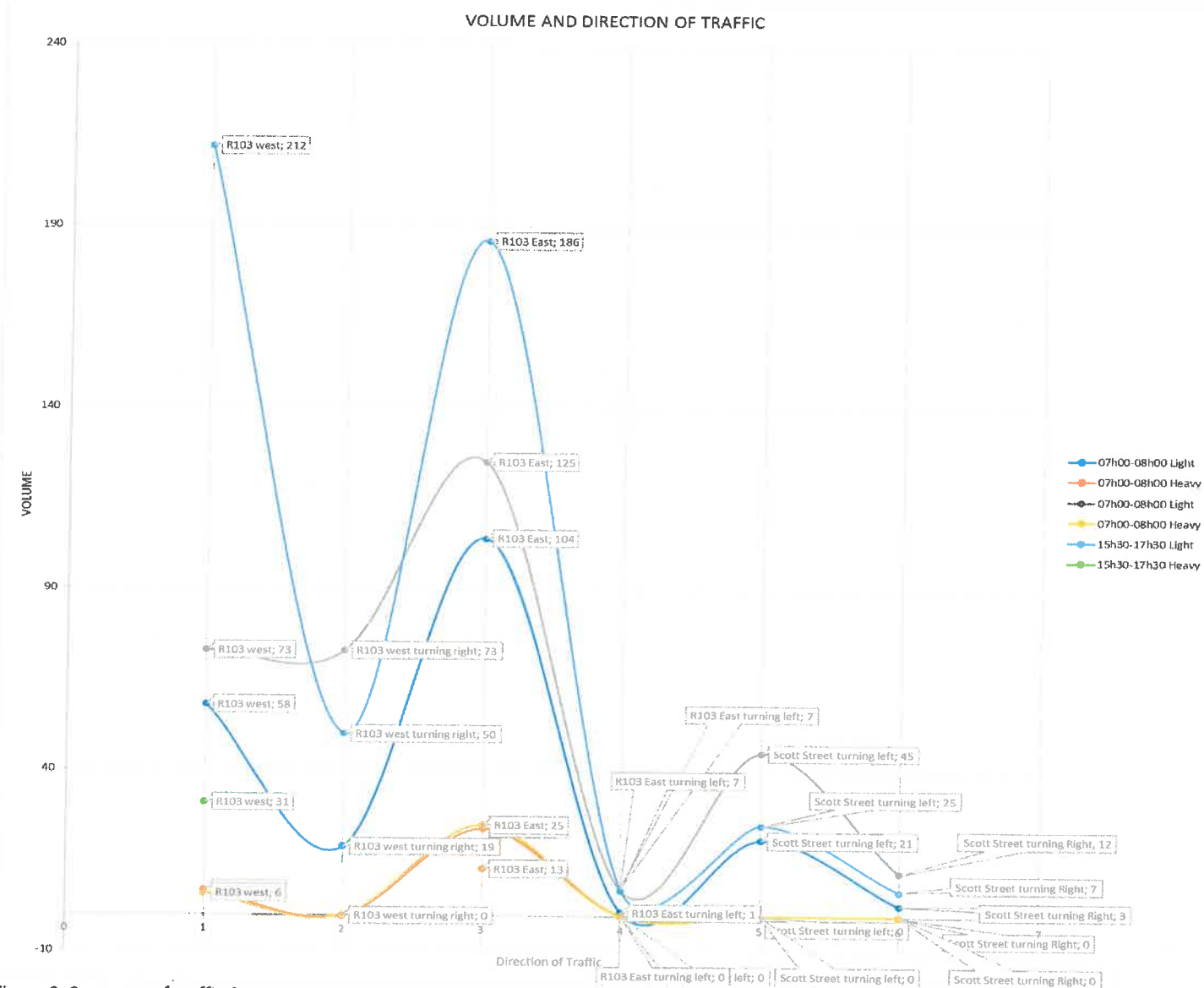


Figure 2: Summary of traffic Count

## Conclusion

Based on the observations and traffic volume from the traffic count obtained on the 17<sup>th</sup> and 19<sup>th</sup> of January 2022 at the Alfred Storm Drive off the R103 Intersection and Scott Street Intersection, the traffic generation is expected to be the following:

1. At 07h00 to 08h00 on the 17<sup>th</sup> of January 2022, the R103 east bound and the Scott Street Left turning traffic is combined the total is 129 per hour. (Tippers excluded). This equates to +2 vehicles per minute.
2. At 07h00 to 08h00 on the 19<sup>th</sup> of January 2022, the R103 east bound and the Scott Street Left turning traffic is combined the total is 174 per hour. (tippers excluded), this equates to -3 vehicles per minute.
3. At 15h30 to 17h30 on the 19<sup>th</sup> The peak of 30 vehicles in 10 minutes equates to 1 vehicle every 20 seconds
4. Some of the construction tip trucks will not be present once the N3 upgrade is completed and must be discounted.

The existing road infrastructure at the R103 and Scott Street functions well and efficiently and there is no need to do any further improvements or upgrades to the geometrics or intersections although the rumble strips and concealed driveway signboards should be erected by the Developer.

Yours faithfully



**JG CRONJE**  
PrTechni (Civil), PrCPM

## SITE PHOTOGRAPHS

The following photos were taken at the Scott Street intersection



Figure 3: Scott Street towards the R103



Figure 4: Scott Street turning left to R103



*Figure 5: Scott Street Turning right to R103*



*Figure 6: Turning into Scott Street*



Figure 7:Turning Right into Scott Street



Figure 8:Turning Left into Scott Street

The following photos were taken at 17<sup>th</sup> Scott Street



Figure 9: Intersection at 17th Scott Street



Figure 10: Turning Left into Scott Street



Figure 11: Turning Right into Scott Street

The following photos were taken at the Alfred Storm Drive(R103) Intersection



Figure 12: Intersection at Alfred Storm Drive (R103)



Figure 13: Turning left at Alfred Storm Road (R103)



Figure 14: Turning left at Alfred Storm Drive (R103)



Figure 15: Bottom of Alfred Storm Drive (R103) Intersection



*Figure 16: Turning left to Alfred Storm Drive (R103) intersection*



*Figure 17: Turning right to Alfred Storm Drive (R103) intersection*



Private Bag X9043, PIETERMARITZBURG, 3200

Infrastructure Services D-Block, 224 Prince Alfred Street, Pietermaritzburg 3200

Telephone: 033 355 0569 Fax: 033 342 3962

Simon Plunkett  
P. O. Box 197  
**HILTON**  
43245277

Your Reference: Rem 10 Camperdown  
Date: 15 August 2022

**ATTENTION: MR. SIMON PLUNKETT**

Dear Sir,

**MAIN ROAD 1-3 (R103): PROPOSED MEDIUM DENSITY HOUSING DEVELOPMENT SITUATE ON THE REMAINDER OF ERF 10 CAMPERDOWN: SITUATE IN THE MKHAMBATHINI LOCAL MUNICIPALITY: SITUATE IN THE ADMINISTRATIVE DISTRICT AND PROVINCE OF KWAZULU- NATAL**

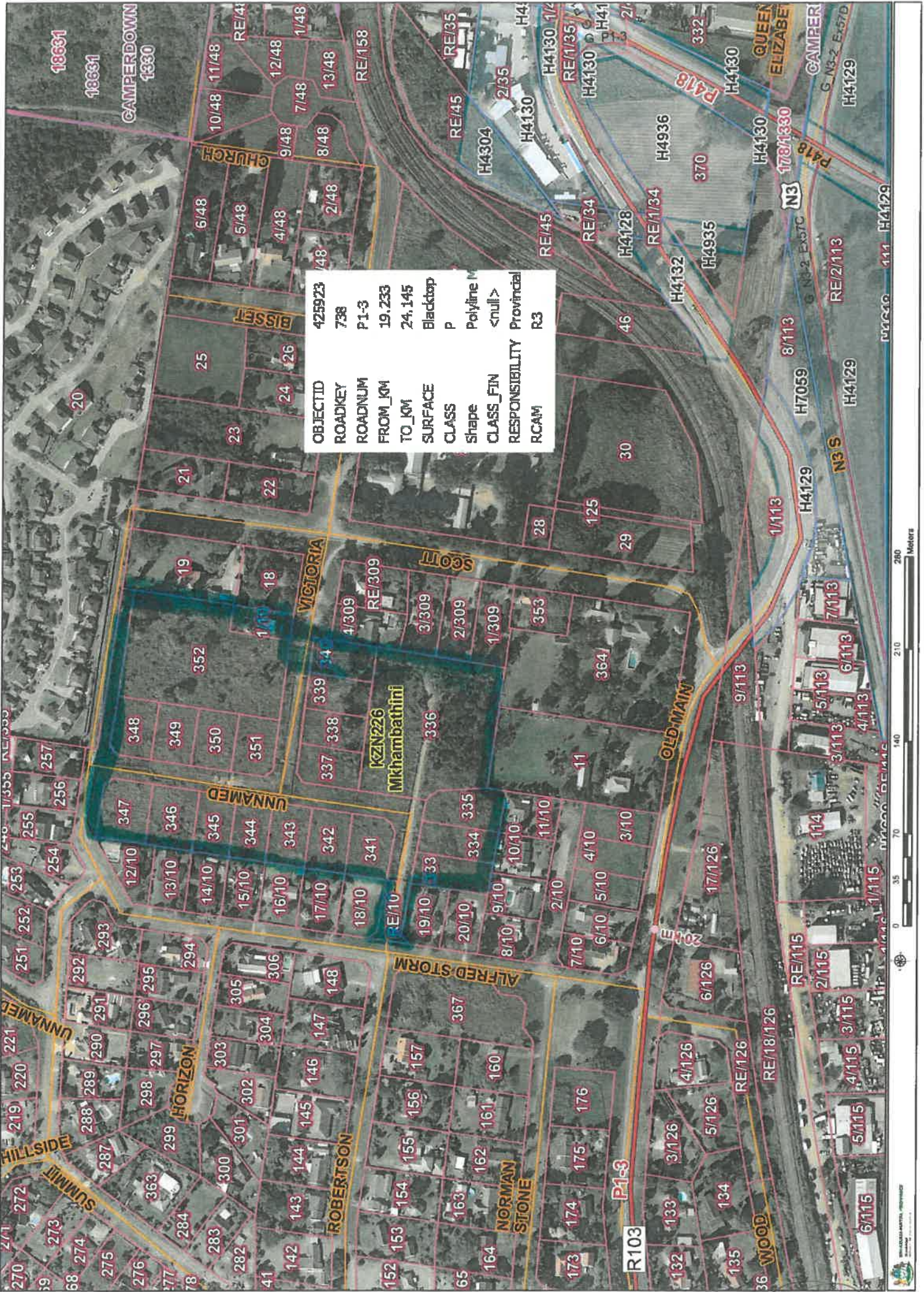
1. With reference to your application dated 11 April 2022 in connection with the abovementioned proposed **MEDIUM DENSITY HOUSING DEVELOPMENT**, I have to inform you that the Minister as the Controlling Authority as defined in the Kwazulu-Natal Roads Act No. 4 of 2001, in terms of section 21 of the said Act has no objections to the proposed development as stated in you Statement of Motivation, as follows.
2. The proposed **MEDIUM DENSITY HOUSING DEVELOPMENT** may proceed in terms of the Spatial Planning and Land Use Management Act No 16 of 2013 read with the Mkhambathini Municipality Spatial Planning and Land Use Management By-laws.
3. Main Road 1-3 has a proclaimed and expropriated road reserve width of approximately 30 meters, measured 15 meters on either side of the constructed road centerline. **The road reserve boundary shall be determined in consultation with this Departments Road Information Services (Telephone: 033-355 8600).** In terms of the Road Infrastructure Strategic Framework for South Africa (RISFSA) and the TRH 26 being the South African Road Classification and Access Management Manual (RCAM), Main Road 1-3 is a mobility road, and its classification is determined as follows:  
**MAIN ROAD 1-3:** RCAM R3, a rural minor arterial and district distributor; and forms part of the Major Route, the R103.
4. On assessing the Traffic Impact Statement Report No. UPM267/2.4 (TIS) dated 2 March 2022 prepared by Umsunguli Project Management, all findings and recommendations made are acceptable to this Department.
5. **PLEASE NOTE:** Comments from this Department must be given to the registered owner/s of the property.
6. This correspondence does not grant authorization or exemption from compliance with any other relevant and applicable legislation.

Yours faithfully,

  
**CHIEF DIRECTOR: TRANSPORT**

MDS/  
T10/2/242/104\_R10dev. 2022.Pmb\_DC22\_Dev

CC: Chief Director: Pietermaritzburg  
Deputy Director: Pietermaritzburg



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## 4. Motivation for Consent Application

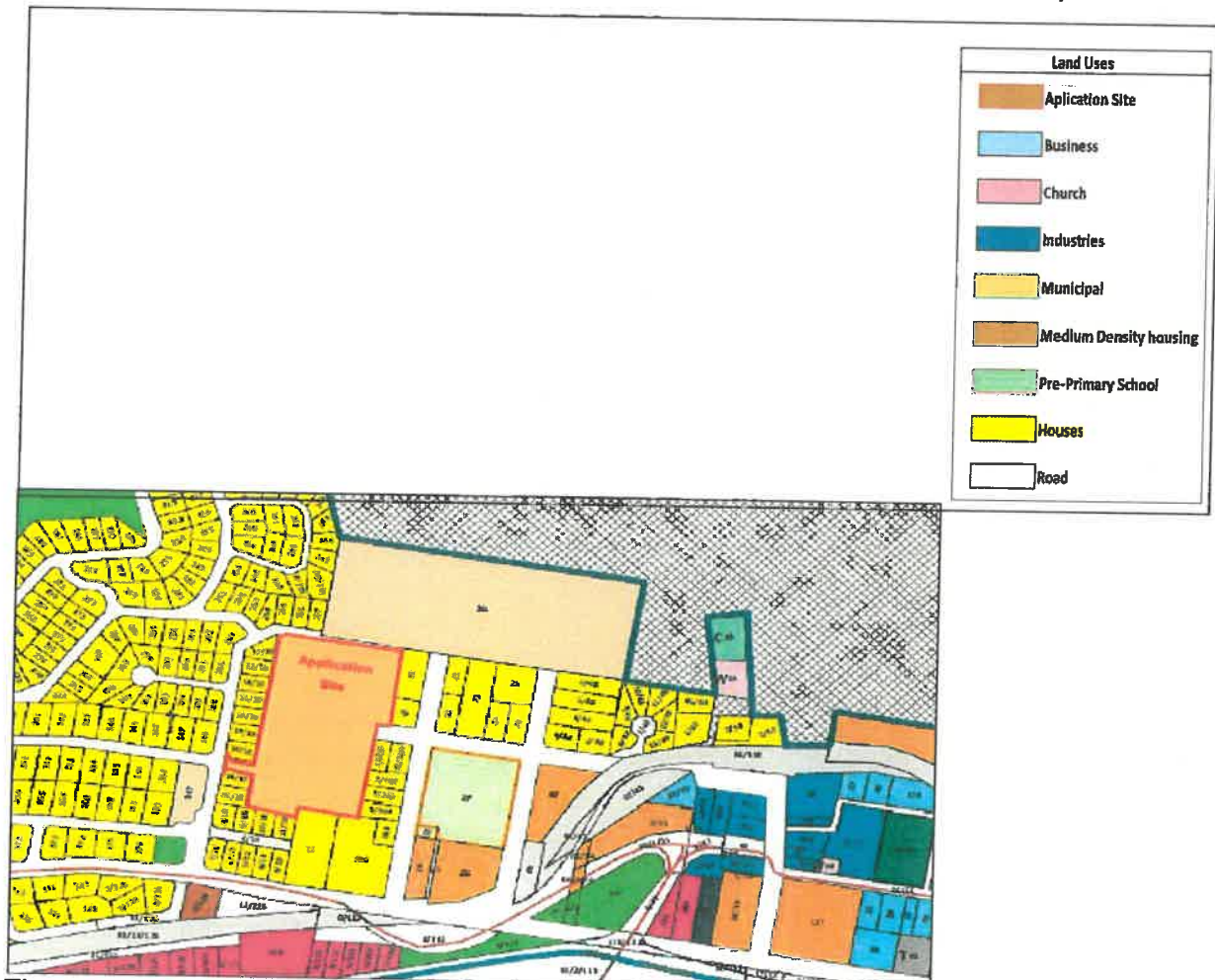
The motivation in support of the application encompasses:

- the analysis of the site in relation to its surrounding land uses and zoning;
- the proposed land use of multiple unit development in relation to the Scheme required Coverage of 30% and FAR of 0.30;
- the national and provincial strategic spatial planning intent considerations;
- local strategic planning, need & desirability; and
- the geotechnical, landscaping and utilities considerations.

### 4.1 The Site in Relation to Existing Land Uses

4.1 The application site is located as is shown by a dark red outline in Map No 1, below:

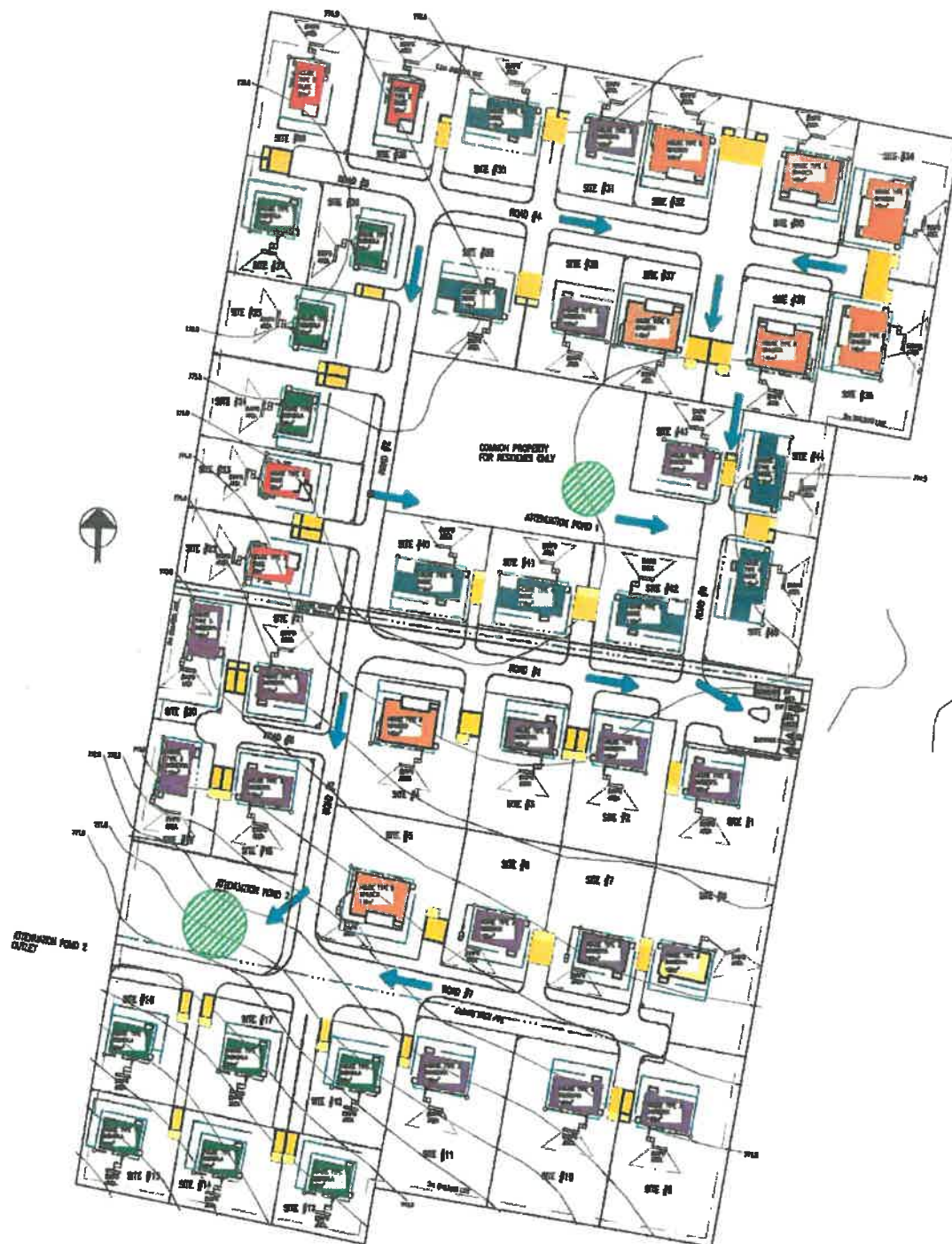
**MAP NO 1: LAND USES IN RELATION TO REM ERF 10 CAMPERDOWN**  
(Source: Adapted Scheme Mapping, Team Land Use Survey & Valuation Roll)



The application site is surrounded by land used for housing purposes as is shown in Yellow in Map No 1 above.

North of the site is a large, up market, medium density housing development called Eagle's Rest as is shown in light Cream (erf No 20).

#### 4.2.2 The Revised Site Development Plan No 2 (Please zoom into page for detailed view of elements)



Jannie Cronje  
Civil Technician  
Umsunguli Project Management CC  
P.O Box 68  
MERRIVALE  
3291

Date: 12<sup>th</sup> May 2022

Enquiries: Samantha Naicker

Tel +27 31 710 5183

Your Ref: UPM267/1.2

Our Ref: ER\_INV\_384/2022

**CERTIFICATE: ELECTRICITY REQUEST**

**PROPOSED DEVELOPMENT ON PORTION 21 OF ERF 10 CAMPERDOWN (SUB 351 OF CAMPERDOWN AS PER CO-ORDINATES 29°43'33.37"S ,30°32'01.89"E OF THE APPLICATION)**

Mr. Cronje

Application dated 05<sup>th</sup> May 2022, regarding the above, refers.

In terms of Electricity condition B3. Eskom certifies that a supply of electricity to within the normal connection distance of the boundary of your property is in existence.

This does not guarantee that, at the time of your application, and payment of deposit, electricity will be available in the grid, immediately.

Building restriction of 12/Twelve metres either side of the centre line of any reticulation overhead power line/s must be considered when planning building developments. The costs of moving power lines will be for the developers' account.

A developer taking a new supply from Eskom, an increase of supply or line deviation is required to make an application to Eskom via the Eskom toll free number 0860037566.

An application for a supply of electricity will be processed in terms of Eskom's standard customer connection tariffs, conditions and policies, in effect as at date of application.

This reply is only in respect of existing power lines, 11kV to 132kV presently under the control of Eskom Distribution, KZN operating unit.

This certificate is valid for a period of 6 (six) months from date of issue.

Yours faithfully

p.p.   
**SS Nsele**  
**Lands and Rights Manager**



Mr. Simon Plunkett  
Professional Town & Regional Planner  
P.O. Box 197  
HILTON  
3245

Date:  
28<sup>th</sup> October 2022

Enquiries: Samantha Naicker

Tel +27 31 710 5183

Your Ref : Rem 10 Camperdown  
Our Ref : ER\_INV\_793/2022

Dear Mr. Plunkett

**ESKOM DISTRIBUTION COMMENTS:**  
**COMMENT FOR PORTION REMAINDER OF ERF 10 CAMPERDOWN – CONSENT FOR**  
**MEDIUM DENSITY HOUSING, REZONING AND RELAXATION APPLICATION**  
**MKHAMBATHINI MUNICIPALITY**

With reference to your application dated 27<sup>th</sup> October 2022, we confirm that an investigation has been carried out with regard to the supply of electricity, as well as any encroachment into Eskom's Servitudes, in respect to the application as set out above.

Umlaas NB52, 11-kV Underground Cables are the only Eskom Distribution assets showing to exist on our system which is in proximity to the proposed development. The infrastructure is depicted on the attached diagram ER\_INV\_793/2022.

The following Eskom Building Regulations shall apply:

**Building Restrictions for 11-kV Underground Cables** - - - - -

No excavations maybe effected within 1.5 metres from any of its underground electric cables. Therefore, keeping servitude areas for underground cables at a minimum 3.00 metres wide.

Changes in ground level may not infringe statutory depth levels at which Eskom underground cables are laid. After any changes in ground level, the surface shall be rehabilitated and stabilised so as to prevent erosion. The measures taken shall be to Eskom's requirements.

The applicant will adhere to all relevant environmental legislation. Any cost incurred by Eskom as a result of non-compliance will be charged to the applicant. Dimensions and specifics will be in accordance to ESKOM standards so as to not obstruct Eskom's existing infrastructure in any way.

KZN Operating Unit  
Land Development Department  
25 Valley View Road New Germany  
PO Box 66 New Germany 3620 SA  
Tel +27 31 710 5111 Fax +27 31 710 5146 [www.eskom.co.za](http://www.eskom.co.za)

Eskom Holdings SOC Ltd Reg No 2002/015527/30

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Eskom shall not be liable for the death of or injury to any person or for the loss of or damage to any property whether as a result of the encroachment or of the use of the servitude area by the applicant, his/her agent, contractors, employees, successors in title, and assigns.

The applicant indemnifies Eskom against loss, claims or damages including claims pertaining to consequential damages by third parties and whether as a result of damage to or interruption of or interference with Eskom's services or apparatus or otherwise. Eskom will not be held responsible for damage to the applicant's equipment. The applicant's attention is drawn to the Electricity Act, 1987, (Act 41 of 1987, as amended in 1994), Section 27(3), which stipulates that the applicant can be fined and/or imprisoned as a result of damage to Eskom's apparatus.

No mechanical equipment, including mechanical excavators or high lifting machinery, shall be used in the vicinity of Eskom's apparatus and/or services, without prior written permission having been granted by Eskom. If such permission is granted the applicant must give at least seven working days prior notice of the commencement of work. This allows time for arrangements to be made for supervision and/or precautionary instructions to be issued.

The clearances between Eskom's live electrical equipment and the proposed construction work shall be observed as stipulated by Regulation 15 of the Electrical Machinery Regulations of the Occupational Health and Safety Act 85 of 1993. Equipment shall be regarded electrically live and therefore dangerous at all times.

Any third party servitudes encroaching on Eskom land shall be registered against Eskom's Notaries deed at the applicant's own cost. If such a servitude is brought into being, its existence should be endorsed on the Eskom servitude deed concerned, while the third party's servitude deed must also include the rights of the affected Eskom servitude.

A developer taking a new supply from Eskom, an increase of supply or line deviation is required to make an application to Eskom via the Eskom toll free number 0860037566. This application will be processed in terms of Eskom's standard customer connection tariffs, conditions and policies at the developers cost

Customers requiring Substation or Powerlines to be installed for their purpose/supply their development must grant all servitudes (a piece of ground on the property to be developed) to Eskom at no cost.

Prior any construction activity, the applicant is required to contact Eskom and detailed Surveyed Plans are to be submitted to this office. This letter outlines the Eskom (Distribution) building restrictions and is by no means an approval for construction works.

Yours sincerely

  
P.P. Nsele

**Lands and Rights Manager**



## KWAZULU-NATAL PROVINCE

COOPERATIVE GOVERNANCE AND  
TRADITIONAL AFFAIRS  
REPUBLIC OF SOUTH AFRICA

### CHIEF DIRECTORATE: MUNICIPAL PLANNING

Private Bag X9078, PIETERMARITZBURG, 3200

Southern Life Plaza, 271 Church Street, Pietermaritzburg, 3200

Tel: 033 356 6437 Email: lisa.delgrande@kznecgta.gov.za

Inquiries: L. Del Grande

File reference: 13/DP/01/20

### MUNICIPAL PLANNING: CIRCULAR 1 OF 2021

- (1) All Municipalities;
- (2) The Surveyor General;
- (3) The South African Geomatics Council; and
- (4) The South African Geomatics Institute

### **DELEGATION BY THE PREMIER OF THE POWER TO CONSENT TO THE ALTERATION, AMENDMENT, PARTIAL CANCELLATION OR CANCELLATION OF A GENERAL PLAN IN TERMS OF SECTION 37(2) OF THE LAND SURVEY ACT, 1997 TO MUNICIPALITIES**

#### 1. PURPOSE

The purpose of this circular is to inform municipal officials and the survey profession that the Premier has delegated the power conferred on him in terms of section 37(2) of the Land Survey Act, 1997 (Act No. 8 of 1997) to consent to the alteration, amendment, partial cancellation or cancellation of a general plan to all Municipalities that are responsible for administering applications for the subdivision of land, consolidation of land and township establishment.

#### 2. BACKGROUND

2.1. The Land Survey Act provides that the Premier must consent to the alteration, amendment, partial cancellation or cancellation of a general plan.

2.2. The Land Survey Act provides that the Premier may delegate the power to a Municipality.

#### 3. DISCUSSION

3.1. The alteration, amendment, partial cancellation or cancellation of a General Plan that has been approved by the Surveyor General or registered at the Deeds Office (i.e. one or more parcels have been transferred), requires section 37 of the Land Survey Act, 1997 (Act No. 8 of 1997) to be followed.



## KWAZULU-NATAL PROVINCE

COOPERATIVE GOVERNANCE AND  
TRADITIONAL AFFAIRS  
REPUBLIC OF SOUTH AFRICA

- 3.2. Section 37 of the Land Survey Act requires consent to be obtained from the Premier, for the alteration, amendment, partial cancellation or cancellation of a General Plan (that has been approved by the Surveyor General or registered in the Deeds Office)
- 3.3. The Premier has now delegated the power conferred on him in terms of section 37(2) of the Land Survey Act, 1997 (Act No. 8 of 1997) to consent to the alteration, amendment, partial cancellation or cancellation of a general plan to all Municipalities that are responsible for administering applications for the subdivision of land, consolidation of land and township establishment.
- 3.4. Municipalities and the survey profession are informed that the Premier will no longer entertain applications for his consent for the alteration, amendment, partial cancellation or cancellation of a general plan and that—
- 3.4.1. Approval for the subdivision of land, consolidation of land and township establishment in terms of the Municipality's planning by-law, and
- 3.4.2. Consent for the alteration, amendment, partial cancellation or cancellation of a general plan in terms of the Land Survey Act,
- can both be obtained from the local Municipality, or in the case of the eThekweni Municipality, from the eThekweni Municipality.
- 3.5. It should, however, be noted that this delegation is to the Municipal Council and that further permission is required from the Premier, if a Municipality wants to delegate the power further to the Municipal Planning Tribunal or a municipal official.
- 3.6. This circular does not apply to General plans that have not yet been registered at the Deeds office or have not been approved by the Surveyor General.

## 4. CONCLUSION

- 4.1. All Municipalities and the survey profession are advised to note the delegation and that future applications are to be submitted in accordance with the delegated powers.

  
Mr. T. Tshane  
Head of Department

22/2/22  
Date

EWIP\_NCAD2963\_22

External

Index

R

Rishi Rampershad (R)

Our Ref. No: EWIP\_NCAD2963\_22

Your Ref. No: NCT

SIMON PLUNKETT  
PO BOX 197  
HILTON  
KZN  
3245

Dear Sir/Madam

**REMAINDER OF ERF 10 CAMPERDOWN – MKHAMBATHINI MUNICIPALITY SPLUMA APPLICATION FOR DEVELOPMENT OF MEDIUM DENSITY HOUSING AND ASSOCIATED REQUIREMENTS IN TERMS OF THE SCHEME - a.Consent to permit Medium Density Housing on Remainder of Erf 10 Camperdown being in the Residential Only Detached 1300m<sup>2</sup> Zone. b.Permit Outbuildings being a Security Gatehouse, Workshop and Bin Area and permit these in front of the Building Line. c.Rezone the Internal Roads of the development from "Road" to "Residential Only Detached 1300m<sup>2</sup>". d.Road Closure of the Internal Roads located within Remainder of Erf 10 Camperdown e.Withdrawal and Cancellation of General Plan with SG Number 1746/2007 and SG Diagram Number 2124/1988. f.Donation of the Road Widening Area along Alfred Storm Street to the Mkhambathini Municipality of approx. 9.00m wide with an area of 1670.00m<sup>2</sup> (formerly known as Portion 403 (of 21) of Remainder of Erf 10 Camperdown). g.Phasing of the Development over 4 Phases as per the diagram by C.Y. Baily – Designs Inc. Drawing No. 21/10/02 Rev A Dated September 2021.**

Your notification dated 07 November 2022 refers.

In reference to the Electronic Communications Act no. 36 of 2005.

This company's existing overhead and underground infrastructure, as indicated on the attached plan, may be affected by the above-mentioned proposal.

Alterations to existing infrastructure may be necessary. An estimate of the cost involved will be furnished upon receipt of a written request.

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Openserve infrastructure is normally buried at a depth of 0.6m and although the position thereof is shown as accurately as possible, these positions should be regarded as approximate only.

Kindly inform the applicant that should they require the infrastructure to be relocated, it will be undertaken at their request and cost.

This company cannot accept responsibility for any reinstatement costs and our infrastructure should be accessible at all time.

Telecommunication services position is shown as accurately as possible, these positions should be regarded as approximate only.

Approval of the proposed is valid for six months. If construction has not yet commenced within this time period then the file must be resubmitted for approval. Any changes / deviations from the original planning during construction must be immediately communicated to this office.

Yours Faithfully

-----  
Rishi Rampershad  
Wayleave Officer

Regards

Rishi Rampershad  
Wayleave Officer  
Network Engineering and Build



Durban – Umbilo Workshops & Offices  
2 Oliver Lea Drive, Durban, 4001

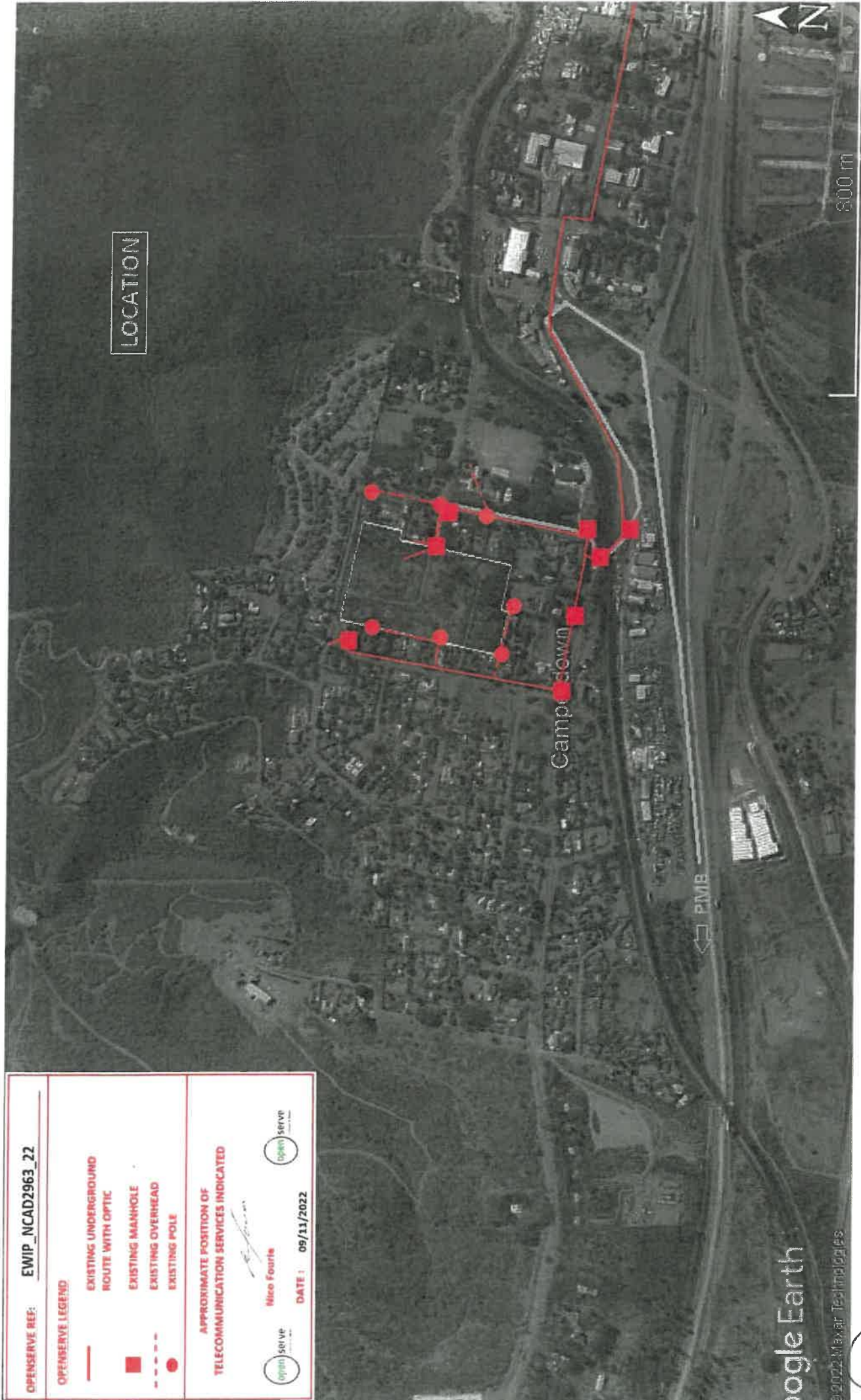
Tel : +27 31 459 1768  
Fax : +27 864 786 950

Email : [rishir@openserve.co.za](mailto:rishir@openserve.co.za)

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NOTE:OVERHEAD IS VISIBLE ON SITE

OPENSEERVE REF:	EWIP_NCAD2963_22	
OPENSEERVE LEGEND		
—	EXISTING UNDERGROUND ROUTE WITH OPTIC	
■	EXISTING MANHOLE	
- - -	EXISTING OVERHEAD	
●	EXISTING POLE	
APPROXIMATE POSITION OF TELECOMMUNICATION SERVICES INDICATED		
	Nico Fourie	DATE : 09/11/2022
		



**NOTE: OVERHEAD IS VISIBLE ON SITE**

OPENSEERVE REF: **EWIP\_NCAD2963\_22**

**OPENSEERVE LEGEND**

- EXISTING UNDERGROUND ROUTE WITH OPTIC
- EXISTING MANHOLE
- - - EXISTING OVERHEAD
- EXISTING POLE

APPROXIMATE POSITION OF TELECOMMUNICATION SERVICES INDICATED




**Nico Fourie**

**DATE: 09/11/2022**

**SCHEDULE C - SERVICES**

SITE NO.	DATE	TYPE	DESCRIPTION	STATUS
1	11/11/2022	NEW	UNDERGROUND ROUTE WITH OPTIC	COMPLETED
2	11/11/2022	NEW	EXISTING MANHOLE	COMPLETED
3	11/11/2022	NEW	EXISTING OVERHEAD	COMPLETED
4	11/11/2022	NEW	EXISTING POLE	COMPLETED

**SCHEDULE D - SERVICES**

SITE NO.	DATE	TYPE	DESCRIPTION	STATUS
1	11/11/2022	NEW	UNDERGROUND ROUTE WITH OPTIC	COMPLETED
2	11/11/2022	NEW	EXISTING MANHOLE	COMPLETED
3	11/11/2022	NEW	EXISTING OVERHEAD	COMPLETED
4	11/11/2022	NEW	EXISTING POLE	COMPLETED

**SCHEDULE E - PARKING**

TYPE	NO. OF SPACES	STATUS
VEHICLE	10	COMPLETED
BIKE	5	COMPLETED
TRUCK	2	COMPLETED

**SCHEDULE F - ROADS**

NAME	LENGTH	STATUS
ROAD 1	100m	COMPLETED
ROAD 2	150m	COMPLETED
ROAD 3	200m	COMPLETED



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**REVISIONS**

NO.	DATE	DESCRIPTION
1	11/11/2022	INITIAL DESIGN
2	11/11/2022	REVISION 1
3	11/11/2022	REVISION 2
4	11/11/2022	REVISION 3
5	11/11/2022	REVISION 4
6	11/11/2022	REVISION 5
7	11/11/2022	REVISION 6
8	11/11/2022	REVISION 7
9	11/11/2022	REVISION 8
10	11/11/2022	REVISION 9
11	11/11/2022	REVISION 10
12	11/11/2022	REVISION 11
13	11/11/2022	REVISION 12
14	11/11/2022	REVISION 13
15	11/11/2022	REVISION 14
16	11/11/2022	REVISION 15
17	11/11/2022	REVISION 16
18	11/11/2022	REVISION 17
19	11/11/2022	REVISION 18
20	11/11/2022	REVISION 19
21	11/11/2022	REVISION 20
22	11/11/2022	REVISION 21
23	11/11/2022	REVISION 22
24	11/11/2022	REVISION 23
25	11/11/2022	REVISION 24
26	11/11/2022	REVISION 25
27	11/11/2022	REVISION 26
28	11/11/2022	REVISION 27
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85	11/11/2022	REVISION 84
86	11/11/2022	REVISION 85
87	11/11/2022	REVISION 86
88	11/11/2022	REVISION 87
89	11/11/2022	REVISION 88
90	11/11/2022	REVISION 89
91	11/11/2022	REVISION 90
92	11/11/2022	REVISION 91
93	11/11/2022	REVISION 92
94	11/11/2022	REVISION 93
95	11/11/2022	REVISION 94
96	11/11/2022	REVISION 95
97	11/11/2022	REVISION 96
98	11/11/2022	REVISION 97
99	11/11/2022	REVISION 98
100	11/11/2022	REVISION 99

**OWNER**  
AMER PRODUCTIONS LLC

**PROJECT**  
PROPOSED SECTIONAL TITLE DEVELOPMENT AT SUB 21 CAMPERDOWN

**DESIGNER**  
Designs Inc.

**SCALE**  
1 : 500

**DRAWING No.**  
2/10/01

**DATE**  
SEPTEMBER 2021

Enquiries: N. Mthethwa

My Ref :

Umsunguli Project Management

PO Box 68

Merrivale

3291

26 July 2022



**RE: The proposed development of the remainder of Erf 10 Camperdown of 5,4545 hectares in extent into 45 residential sectional title units"**

Your letter with reference no: UPM267/2.4 dated 19<sup>th</sup> May 2022 refers.

In terms of the Conditions of Establishment issued by uMkhambathi Municipality, the District Municipality acknowledges that it is the responsible authority for water and sanitation. It was established that this property has existing water and sanitation services.

We therefore reply as follows:

#### **Water Supply**

The municipality confirms that Camperdown Residential can connect onto the existing municipality water network and serve the development up to approximately 23500l/day.

A formal application will have to be made to the Municipality to install a bulk water meter to the property.

#### **Sanitation**

The subdivision above has advised that it plans to construct a septic tank system, a design of the said septic tank must be submitted to the municipality for approval.

uMgungundlovu District Municipality has no objections to the establishment of the Camperdown Residential as detailed in the application.

I trust you find the above in order, but please do not hesitate to contact the writer hereof

Yours in development

.....  
**Mr. Royal Nzuza**

**Acting Executive Manager Technical Service**

#### **Technical Services**

PO Box 3235, Pietermaritzburg, 3200  
176 Langalibalele Street, Pietermaritzburg, 3201

Tel: 033 8976700 / 6712

Fax: 033 3945580

201

Enquiries: Z Gumede

**THE TOWN PLANNING UNIT**  
**UMKHAMBATHINI LOCAL MUNICIPALITY**  
Private Bag X 04  
Camperdown  
3720



7<sup>th</sup> February 2023

Attention: Ms Zinhle Mbonambi

**RE: REMAINDER OF Erf 10 CAMPERDOWN**

Your email dated the 06<sup>th</sup> December 2022 has reference.

uMgungundlovu District Municipality acknowledges that it is the responsible authority for water and sanitation within the uMkhambathini LM.

The District Municipality confirms that there will be enough water supply to cater for the proposed development of 45 units in the remainder of Erf 10 Camperdown. The existing infrastructure can be able to provide an estimated water volume of 75 kl per day, that is estimated as the maximum demand in the engineering report.

Regarding sanitation, contrary to the design report, the District Municipality also confirms that an existing sewer infrastructural services with bulk sewer main running on the northern boundary of the proposed development that transfers sewage into Camperdown Wastewater Treatment Works (WWTW). The WWTW can accommodate the influent of 37 kl per day that is estimated to be produced by the 35 units in the engineering report. Therefore, on-site sanitation for this development is not approved.

The Developer will be responsible for ensuring feasibility and practicality of connections into the existing bulk water and sewer infrastructure. Furthermore, the Developer will be liable payment of both water and sewer connection fees, as necessary.

We trust you find the above in order and should there be queries, kindly contact the Divisional Manager Operations, Mr. Z. Gumede on email: [Zakhe.Gumede@umdm.gov.za](mailto:Zakhe.Gumede@umdm.gov.za) or telephone (033) 897 6947.

Yours in development,

.....  
**Z.P. NDLOVU**  
**HEAD OF DEPARTMENT: TECHNICAL SERVICES**

Tel: 033 8976700 / 6712

**Technical Services**  
PO Box 3235, Pietermaritzburg, 3200  
176 Langalibalele Street, Pietermaritzburg, 3201

Fax: 033 3945580

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## TOWN PLANNING NOTICE

The Mkhambathini Municipality has received an application in terms of the Spatial Planning and Land Use Management Act, 2013 (Act No. 16 of 2013) read with the Mkhambathini Municipal Spatial Planning and Land Use Management Bylaws for Consent for 45 medium density housing units, Rezoning of roads and Relaxation of building lines on the Remainder of Erf 10, Camperdown. Ref: SPLUMA050/2022

The property is located at the intersection of Victoria and Scott streets on the left hand side of Scott Street as Victoria crosses over Scott into the property. Coordinates are: 29°43'34.29" S - 30°32'04.35" S.

Members of the public are invited to lodge written objections or representations, by email, with the undersigned by no later than the close of business on 20/12/2022

A person's failure to submit comments in response to the notice or to include contact details, disqualifies the person from the right to receive personal notice of any public hearing and the right to appeal.

### ISAZISO SOKUHFLELA IDOLOBHA

UMasipala wase Mkhambathini uthole isicelo esifakwe ngokoMthetho we-Spatial Planning and Land Use Management Act, 2013 (Act No. 16 of 2013) ofundwe noMthetho kaMasipala waseMkhambathini wokuhlela nokusetshenziswa koMhlaba edolobheni. Lesicelo esokuhlelela ukwakha izindlu ezingamashumi amane nanhlanu kanye nokuhlelela izindlela; Ukuklanywa Kabusha Kwemigwaqo kanye Nokuxegiswa Kolayini Bokwakha KuNsalela Yesiza 10, Camperdown. Ref: SPLUMA050/2022

Le ndawo itholakala ezimpambanweni zomgwaqo uVictoria noScott ngakwesobunxele sikaScott Street njengoba uVictoria ewela iScott engena kule ndawo. Izixhumanisi yilezi: 29°43'34.29" S - 30°32'04.35" S.

Amalungu omphakathi wase Mkhambathini ayamenya ukuba afake ukuphikisa okubhaliwe noma izethulo azithunyelwe ngokusebenzisa email kumhlonishwa obhalwe ngezansi. kungakedluli ukuvalwa kwebhizinisi 20/12/2022

Umuntu ongakwazanga ukufaka isethulo mayelana nalesaziso noma ongafakanga imininingwane ephelile kwi sethulo sakhe, uyolahlekelwa ilungelo lokuba kulalelwe isethulo sakhe esigcawini somphakathi.

**Mr S Mngwengwe**  
**ACTING MUNICIPAL MANAGER**  
**Private Bag X04**  
**CAMPERDOWN**  
**3720**

**[Mbonambiz@mkhambathini.gov.za](mailto:Mbonambiz@mkhambathini.gov.za)**

**Imibuzo ayithunyelwe ku: Ms Z Mbonambi on:**

**All enquiries may be directed to Ms Z Mbonambi on:**

**Telephone : 031 – 785 9374**

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OCTOBER 28, 2022

#### TOWN PLANNING NOTICE

The Mkhambathini Municipality has received an application in terms of the Spatial Planning and Land Use Management Act, 2013 (Act No. 16 of 2013) read with the Mkhambathini Municipal Spatial Planning and Land Use Management Bylaws for Consent for 45 medium density housing units, Rezoning of roads and Relaxation of building lines on the Remainder of Eri 10, Camperdown. Ref: SPLUMA050/2022 The property is located at the intersection of Victoria and Scott streets on the left hand side of Scott Street as Victoria crosses over Scott into the property. Coordinates are: 29°43'34.29" S - 30°32'04.35" S. Members of the public are invited to lodge written objections or representations, by email, with the undersigned by no later than the close of business on 30/11/2022. A person's failure to submit comments in response to the notice or to include contact details, disqualifies the person from the right to receive personal notice of any public hearing and the right to appeal.

**ISAZISO SOKUHELELA IDOLOBHA**  
UMasipala wase Mkhambathini uthole isicelo esifakwe ngokomithetho we-Spatial Planning and Land Use Management Act, 2013 (Act No. 16 of 2013) ofundwe noMithetho kaMasipala waseMkhambathini wokuhlela nokusetshenziswa koMhlaba edolobheni. Lesicelo esokuhlelela ukwakha izindlu ezingamashumi amane nanhlanu kanye nokuhlelela izindlela; Ukukanywa Kabusha Kwemigwaqo kanye Nokuxegiswa Kolayini Bokwakha KuNsalela Yesiza 10, Camperdown. Ref: SPLUMA050/2022 Le ndawo itholakala ezimpambanweni zomgwaqo uVictoria noScott ngakwesobunxele sikaScott Street njengoba uVictoria ewela iScott engena kule ndawo. Izixhumanisi yilezi: 29°43'34.29" S - 30°32'04.35" S. Amalungu omphakathi wase Mkhambathini ayamenya ukuba afake ukuphikisa okubhaliwe noma izethulo azithunyelwe ngokusebenzisa email kumhlonishwa obhalwe ngezansi. kungakadluli ukuvalwa kwebhizinisi 30/11/2022 Umuntu ongakwazanga ukufaka isethulo mayelana nalesaziso noma ongafakanga imininingwane ephelile kwi sethulo sakhe, uyolahlekelwa ilungelo lokuba kulalelwe isethulo sakhe esigcawini somphakathi.

**Mr S Mngwengwe  
ACTING MUNICIPAL  
MANAGER**

Private Bag X04 CAMPERDOWN

3720  
Mbonambi

@mkhambathini.gov.za

Imibuzo ayithunyelwe ku: Ms Z  
Mbonambi on: All enquiries may  
be directed to Ms Z Mbonambi  
on: Telephone: 031 785 9374

GO000645

718

TOWN  
PLANNINGISAZISO SOKUHELELA  
IDOLOBHA

UMasipala wase  
Mkhambathini uthole  
isicelo esifakwe  
ngokoMthetho we-Spatial  
Planning and Land Use  
Management Act, 2013  
(Act No. 16 of 2013)  
ofundwe noMthetho  
kaMasipala  
waseMkhambathini  
wokuhelela  
nokusetshenziswa  
koMhlaba edolobheni.  
Lesicelo esokuhelelela  
ukwakha izindlu  
ezingamashumi amane  
nanhlanu kanye nokuhelele  
izindlela; Ukuklanywa  
Kabusha Kwemigwaqo  
kanye Nokuxegiswa  
Kulayini Bokwakha  
KuNsalela Yesiza 10,  
Camperdown, Ref:  
SPLUMA050/2022

Le ndawo itholakala  
ezimpambanweni uVictoria  
zomgwaqo ngakwesobunxele  
sikaScott Street njengoba  
uVictoria ewela iScott  
engena kule ndawo.  
Izixhumanisi S yilezi:  
29°43'34.29" S  
30°32'04.35" S.

Amalungu omphakathi  
wase Mkhambathini  
ayamenza ukuba afake  
ukuphikisa okubhaliwe  
noma izethulo  
azithunyelwe  
ngokusebenzisa email  
kumhlonishwa obhalwe  
ngezansi. kungakediuli  
ukuvalwa kwebhizinisi  
30/11/2022

Umuntu ongakwazanga  
ukufaka isethulo mayelana  
nalesaziso noma  
ongafakanga  
iminingwane ephethele  
kwi sethulo sakhe,  
uyolahlekelwa ilungelo  
lokuba kulalelwe isethulo  
sakhe esigcawini  
somphakathi.

Mr S Mngwengwe  
ACTING MUNICIPAL  
MANAGER  
Private Bag X04  
CAMPERDOWN 3720

Mbonambiz@mkhambathi  
ni.gov.za  
Imibuzo ayithunyelwe ku:  
Ms Z Mbonambi on:  
All enquiries may be  
directed to Ms Z  
Mbonambi on: Telephone:  
031 - 785 9374

Friday, October 28 2022

718

TOWN  
PLANNINGTOWN PLANNING  
NOTICE

The Mkhambathini Municipality has received an application in terms of the Spatial Planning and Land Use Management Act, 2013 (Act No. 16 of 2013) read with the Mkhambathini Municipal Spatial Planning and Land Use Management Bylaws for Consent for 45 medium density housing units, Rezoning of roads and Relaxation of building lines on the Remainder of Erf 10, Camperdown. Ref: SPLUMA050/2022

The property is located at the intersection of Victoria and Scott streets on the left hand side of Scott Street as Victoria crosses over Scott into the property. Coordinates are: 29°43'34.29" S 30°32'04.35" S.

Members of the public are invited to lodge written objections or representations, by email, with the undersigned by no later than the close of business on 30/11/2022.

A person's failure to submit comments in response to the notice or to include contact details, disqualifies the person from the right to receive personal notice of any public hearing and the right to appeal.

Mr S Mngwengwe  
ACTING MUNICIPAL  
MANAGER  
Private Bag X04  
CAMPERDOWN 3720  
Mbonambi@mkhambathi  
ni.gov.za  
Imibuzo ayithunyelwe ku:  
Ms Z Mbonambi on:  
All enquiries may be  
directed to Ms Z  
Mbonambi on: Telephone :  
031 - 785 9374

18 Friday, October 28 2022

## TAX INVOICE

South African Post Office Limited  
Howick

25-OCT-2022 14:47:09  
Session Id: 710-43403-2-3402414-2  
Txn No : 05726  
Teller Id: HLENGIWE NGOBESE  
TAX INVOICE VAT #4650101142  
ALL PRICES VAT INCLUSIVE  
VAT DOES NOT APPLY TO ITEMS MARKED \*

Receipt For SA Post Office  
Products Or Services

PRODUCT	QTY	UNIT	VAT	R AMOUNT
			PRICE	

Track and Trace	1 x		R0.00	R0.00
(T&T #:RC158970806ZA)				
Lc). Let. Sml. Reg.	4 x		R39.70 15%	R158.80
(Weight:0.050 kg)				
(Destination:South Africa)				
Track and Trace	1 x		R0.00	R0.00
(T&T #:RC158970810ZA)				
Track and Trace	1 x		R0.00	R0.00
(T&T #:RC158970885ZA)				
Track and Trace	1 x		R0.00	R0.00
(T&T #:RC158970899ZA)				

VAT TOTAL @15% R20.71

Sub Total R158.80

VAT TOTAL @15% R20.71

Total R158.80

Debit Card R158.80

\*\*\*\*\*9547 DEBIT 2403 CHQ  
25/10/22 14:49:50 TERM 2758172  
TRANS NO 274497 AUTH CODE 667723  
PURCHASE R158.80

ACCEPTED

207



## MI Office Hilton

2022-10-28 07:37:28 U:1.5-17 R:20220527  
A:487372 OP:

**CUSTOMER COPY**

UTY: a0060h20-fcae-3f7e-9530-fdfe90e1793  
TSH: 3700  
ABSA - DEBIT

**Total** **R 120.00**

AID: A00000000310100010 TS1: 0000 TVR: 0000000000  
AC: 4DCBDA5773CB21CE

**\*\*APPROVED\*\***

Thank you

DATE \_\_\_\_\_

PO BOX 197 HILTON, 3245, KZN

[illegible]

Signature Postal Officer

Signature Client

DATE STAMP

**Office.net**

**Shop 4 Village Centre  
Hilton Avenue, Hilton, 3245  
Tel: 033 343 1111 Email: [hilton@mioffice.net](mailto:hilton@mioffice.net)  
[www.mioffice.net](http://www.mioffice.net)  
VAT No: 4040187702**

28.10.2022



208

## REGISTERED MAIL LIST

DATE 27/10/2022

CUSTOMER ADDRESS: SIMON PLUNKETT. PO BOX 197 HILTON, 3245, KZN

	ADDRESS	Customer Copy	Book Copy
1	PARAS & ANUSHA MAHARAJ P O Box 100 CAMPERDOWN 3720	17 on Scott Street	Plunkett
2	SITHEMBISO CYRIL MTUNGWA		Plunkett
3	WIERE VEENSTRA 27 ALFRED STORM		Plunkett
4			
5			
6			
7			
8			
9			
10			

Plunkett

DATE STAMP 27/10/2022

PARAS + ANUSHA MAHARAJ  
NO 17 SCOTT ST

PLACED IN SQUARE BOX PIPE AT GATE

209

## REGISTERED MAIL LIST

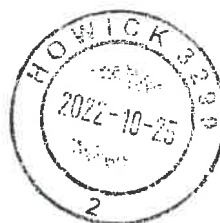
DATE 25/10/22CUSTOMER ADDRESS: **SIMON PLUNKETT. PO BOX 197 HILTON, 3245, KZN**

	ADDRESS	Customer Copy	Book Copy
1	Maqhude Siphiwe Mkabela P O Box 290 CAMPERDOWN 3720		REGISTERED LETTER (with a domestic insurance option) RC 158 970 806 ZA A BOOK COPY
2	Nhlanhla Victor Mbongwe P O Box 10868 HAMMARSDALE 3700		REGISTERED LETTER (with a domestic insurance option) RC 158 970 810 ZA A BOOK COPY
3	Nganyana Johnson Mthembu P O Box 403 CAMPERDOWN 3720		REGISTERED LETTER (with a domestic insurance option) RC 158 970 885 ZA A BOOK COPY
4	Roland Norman Parker Private Bag X01 UMLAAS ROAD 3730		REGISTERED LETTER (with a domestic insurance option) RC 158 970 899 ZA A BOOK COPY
5			
6			
7			
8			
9			
10			

R. G. G.  
Signature Postal Officer

Signature Client

DATE STAMP



Simon Plunkett

210



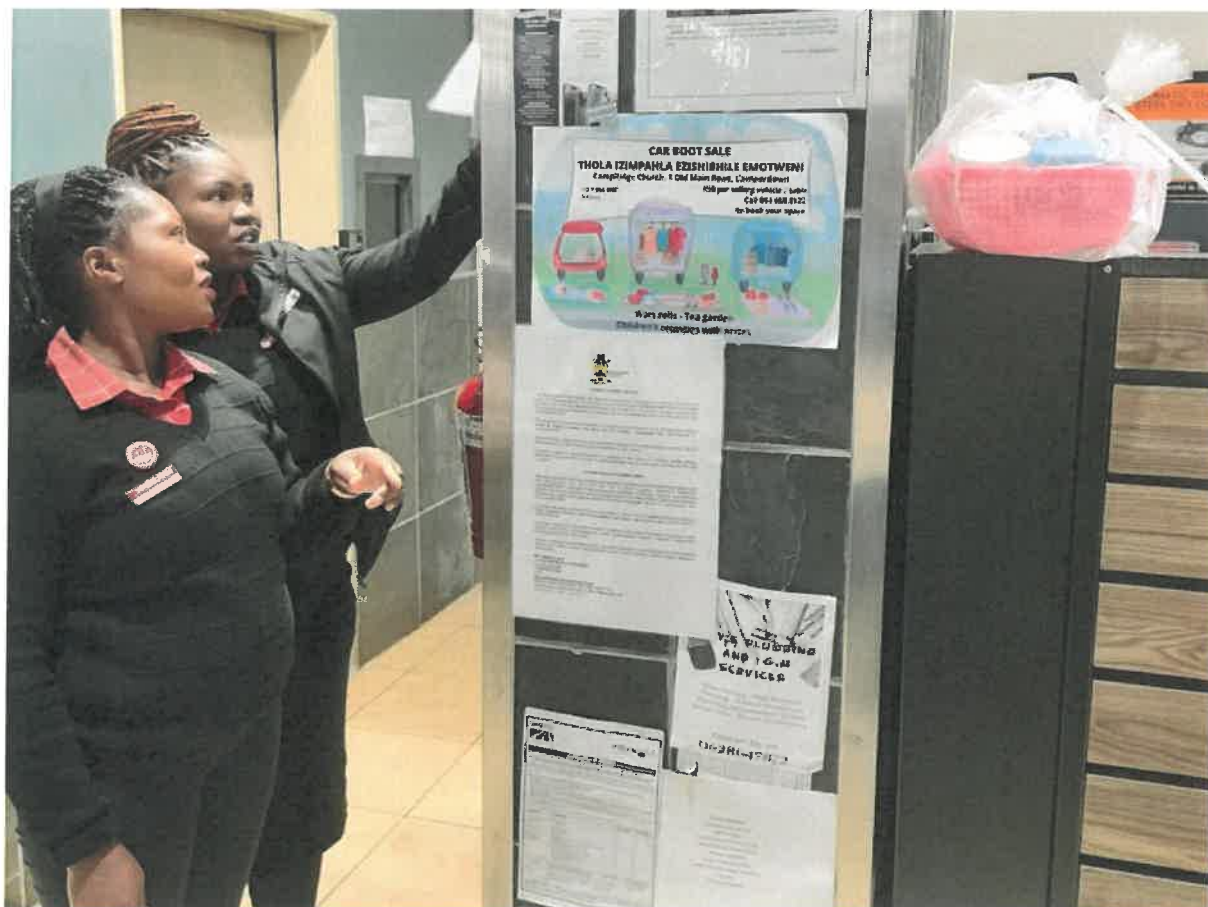






214









IAP PUBLIC NOTICE REM OF ERF 10 CAMPERDOWN REF: SPLUMA050/2022

Recia Plunkett  
to office, alinaam2000@gmail.com, me

Dear Sir/Madam

MKHAMBATHINI MUNICIPALITY has above-mentioned property.

Attached please find the Public Notice

Yours sincerely  
RECIA

OBO

from: Recia Plunkett <recia@plunkett.co.za>  
to: office@alinaam.co.za, "alinaam2000@gmail.com", <alinaam2000@gmail.com>, Simon Plunkett <simon@plunkett.co.za>  
date: 27 Oct 2022, 13:35  
subject: IAP PUBLIC NOTICE REM OF ERF 10 CAMPERDOWN REF: SPLUMA050/2022  
Signed by: plunkett-co-za.20210112.gappssmtp.com  
security: Standard encryption (TLS) [Learn more](#)  
Important according to Google magic.

37 of 10,501

IAP PUBLIC NOTICE REM OF ERF 10 CAMPERDOWN REF: SPLUMA050/2022

Recia Plunkett  
to tncclark@icon.co.za

Dear Sir/Madam

MKHAMBATHINI MUNICIPALITY has above-mentioned property.

Attached please find the Public Notice

Yours sincerely  
RECIA

OBO

from: Recia Plunkett <recia@plunkett.co.za>  
to: "tncclark@icon.co.za" <tncclark@icon.co.za>, "jmtt13@gmail.com" <jmtt13@gmail.com>, "gempire@gmail.com" <gempire@gmail.com>, "elwin.meyer@gmail.com" <elwin.meyer@gmail.com>  
cc: Simon Plunkett <simon@plunkett.co.za>  
date: 27 Oct 2022, 13:40  
subject: IAP PUBLIC NOTICE REM OF ERF 10 CAMPERDOWN REF: SPLUMA050/2022  
Signed by: plunkett-co-za.20210112.gappssmtp.com  
security: Standard encryption (TLS) [Learn more](#)  
Important according to Google magic.

36 of 10,501

IAP PUBLIC NOTICE REM OF ERF 10 CAMPERDOWN REF: SPLUM

from: Recia Plunkett <recia@plunkett.co.za>  
 to: cdr@rpsteel.co.za, "n3citytops1@gmail.com", "n3citytops1@gmail.com", "pillaydonovan@gmail.com", "pillaydonovan@gmail.com", "jenny@balancingact.co.za", "jenny@balancingact.co.za"  
 cc: Simon Plunkett <simon@plunkett.co.za>  
 date: 27 Oct 2022, 13:44  
 subject: IAP PUBLIC NOTICE REM OF ERF 10 CAMPERDOWN REF: SPLUMA050/2022  
 Signed by: plunkett-co-za.20210112.gappssmtp.com  
 security: Standard encryption (TLS) [Learn more](#)  
 Important according to Google magic.

Dear Sir/Me

MKHAMBA

above mentioned

Attached please find the public notice for the development proposed on the 1/2022.

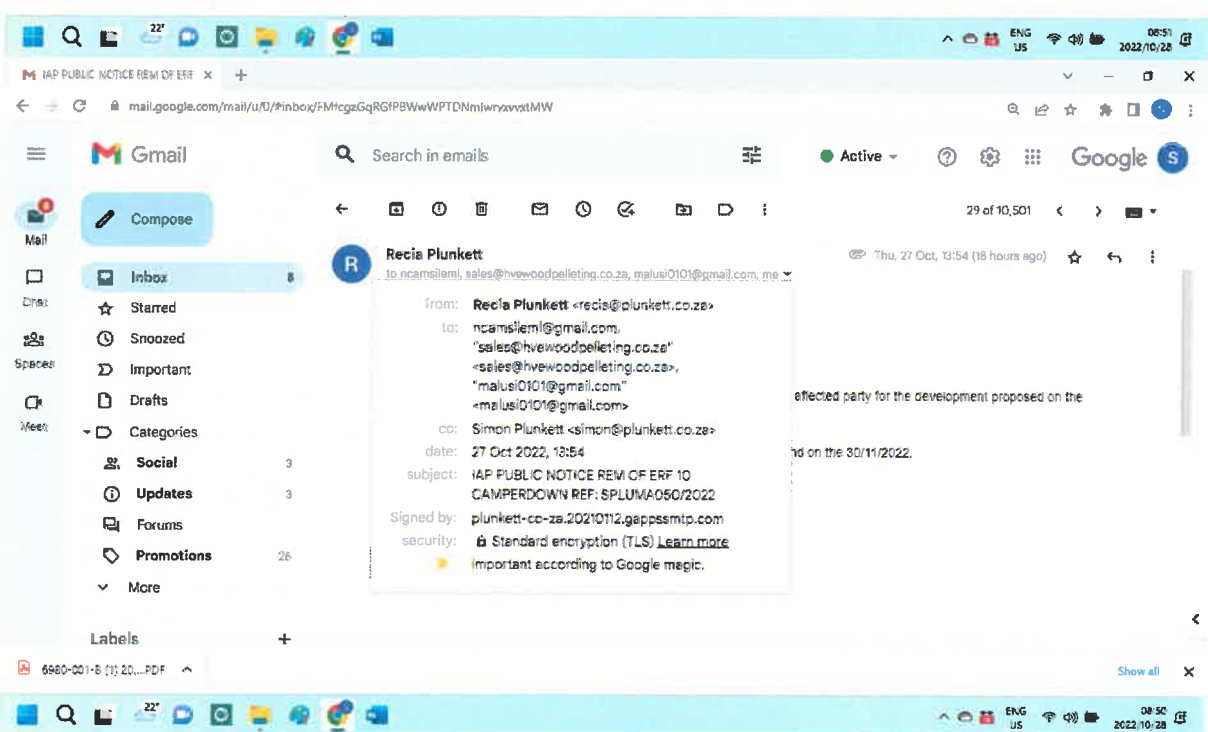
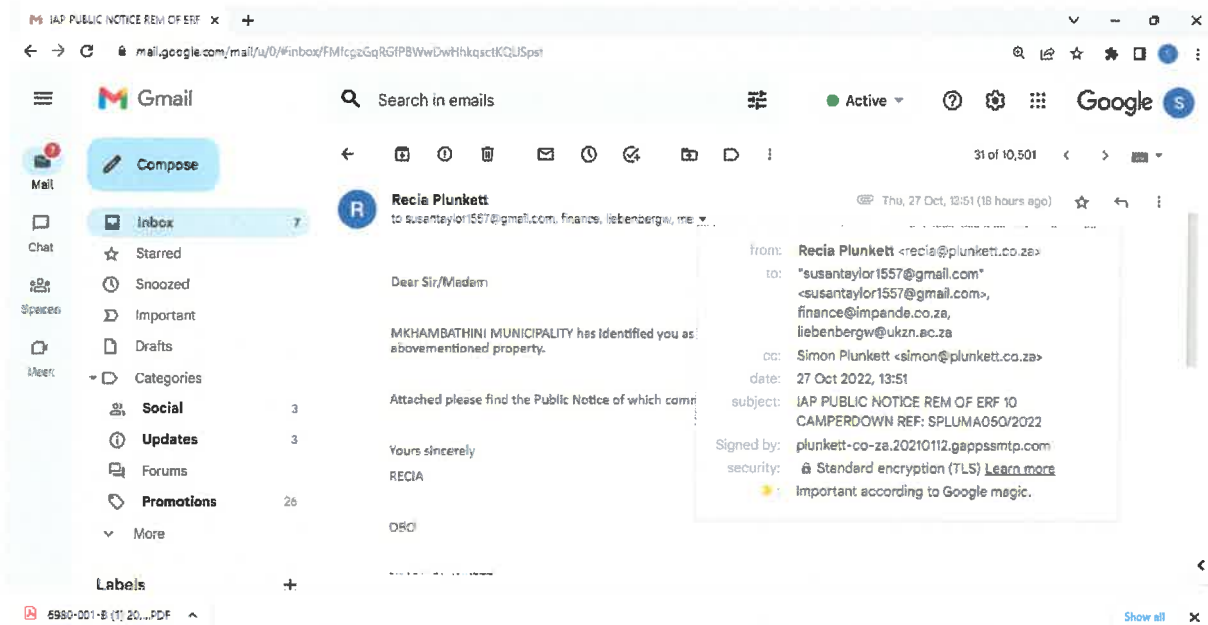
for the development proposed on the 1/2022.

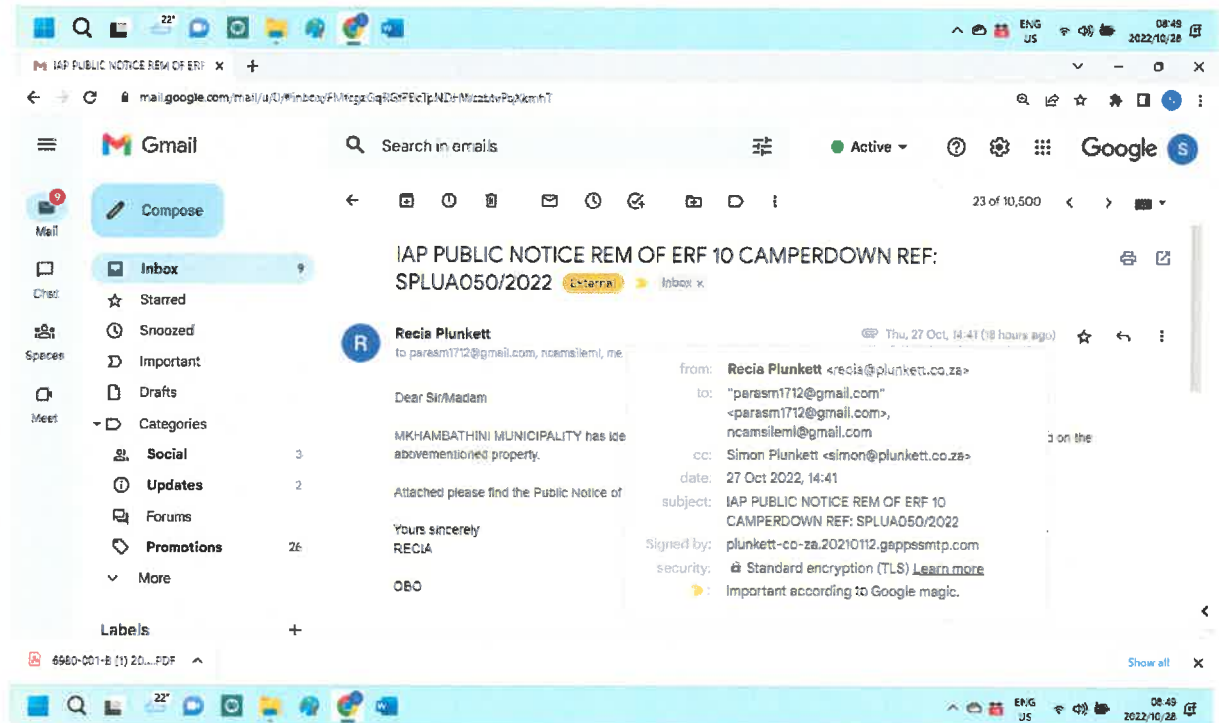
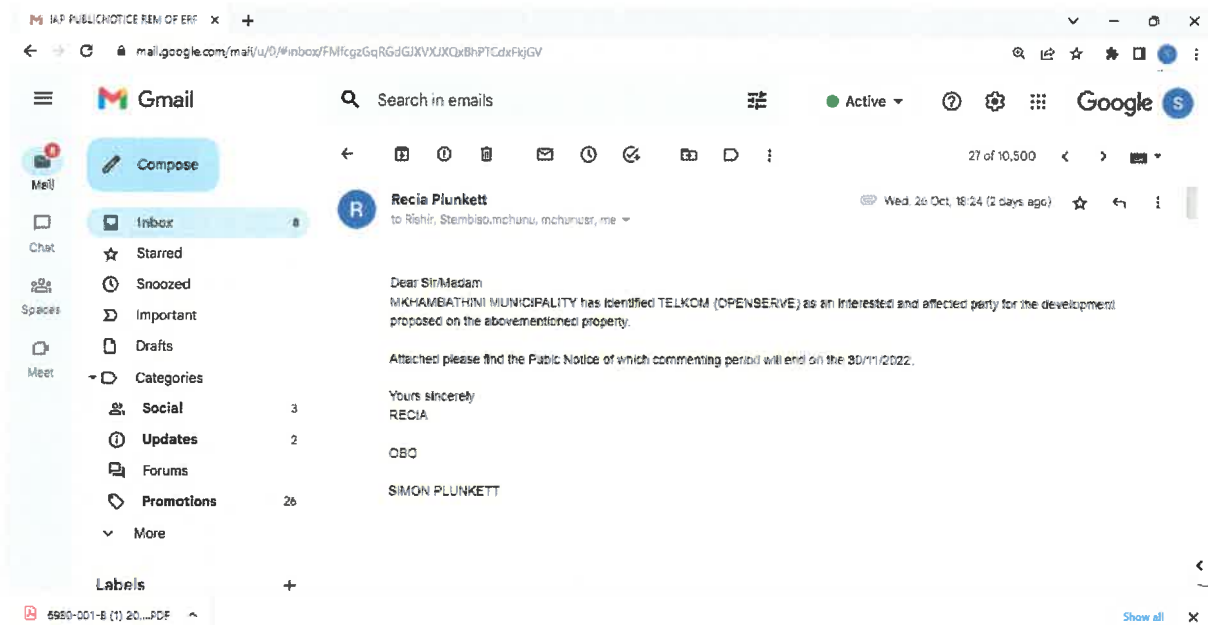
IAP PUBLIC NOTICE REM OF ERF 10 CAMPERDOWN REF: SPLUMA050/2022

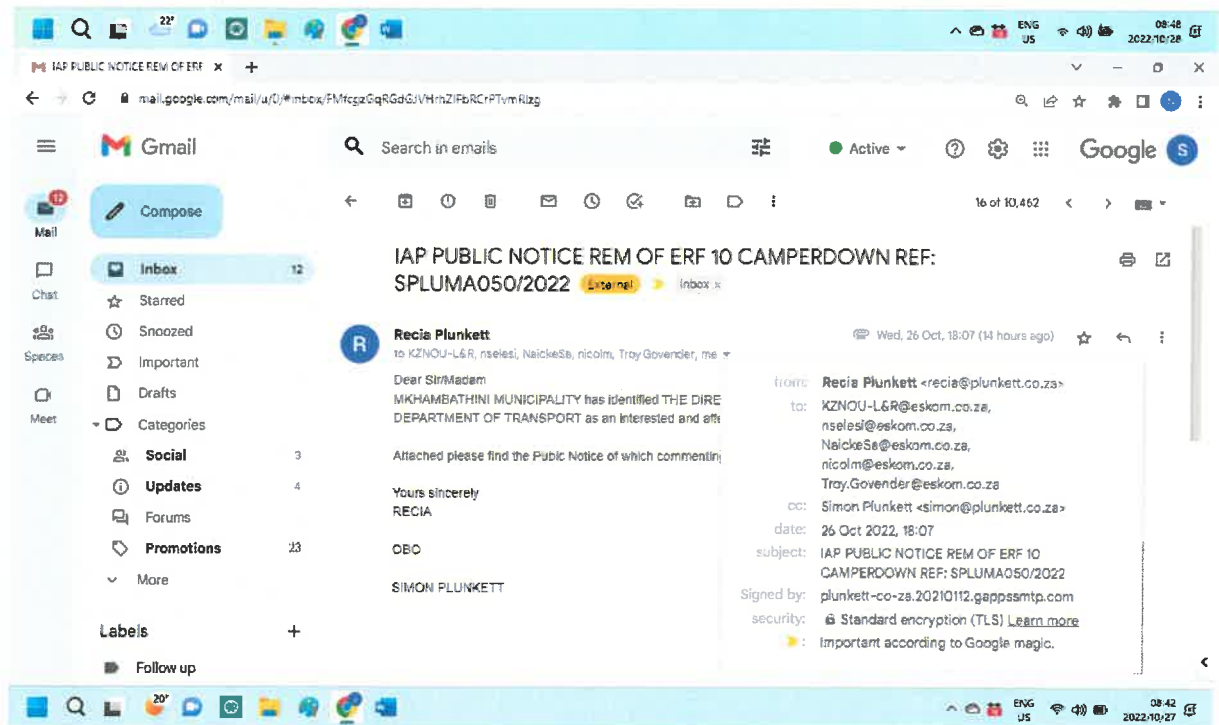
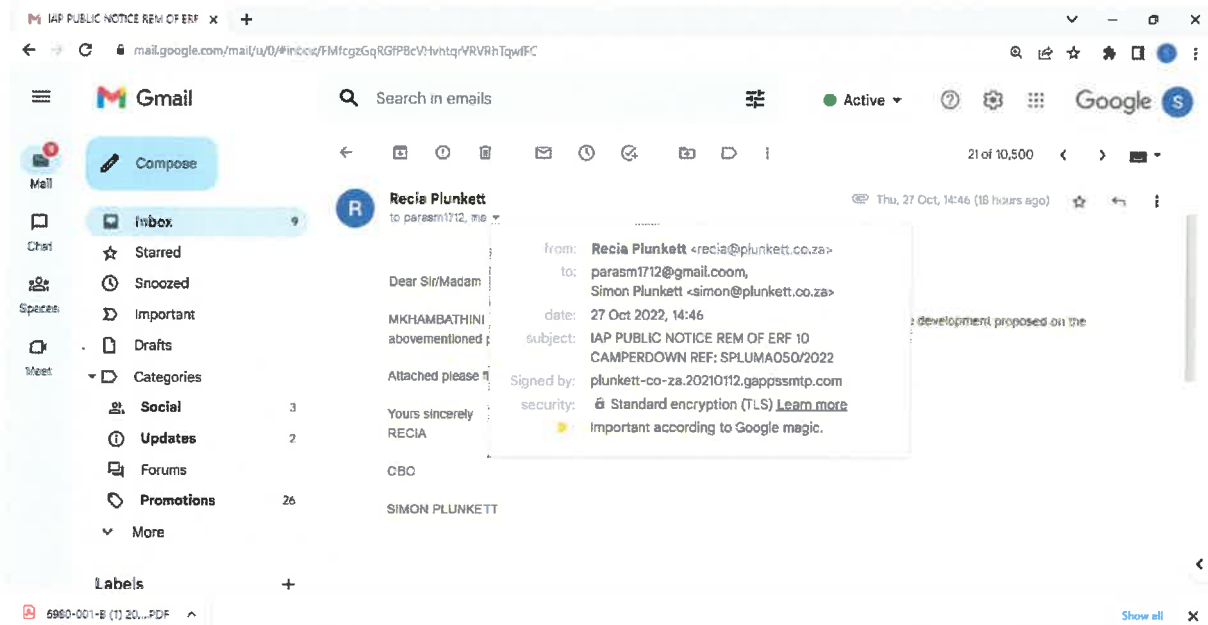
from: Recia Plunkett <recia@plunkett.co.za>  
 to: parasm1712@gmail.com, catomed@africa.com, "heather.hrcatering1961@gmail.com", "heather.hrcatering1961@gmail.com", marjetjiev@feralloys.co.za  
 cc: Simon Plunkett <simon@plunkett.co.za>  
 date: 27 Oct 2022, 13:48  
 subject: IAP PUBLIC NOTICE REM OF ERF 10 CAMPERDOWN REF: SPLUMA050/2022  
 Signed by: plunkett-co-za.20210112.gappssmtp.com  
 security: Standard encryption (TLS) [Learn more](#)  
 Important according to Google magic.

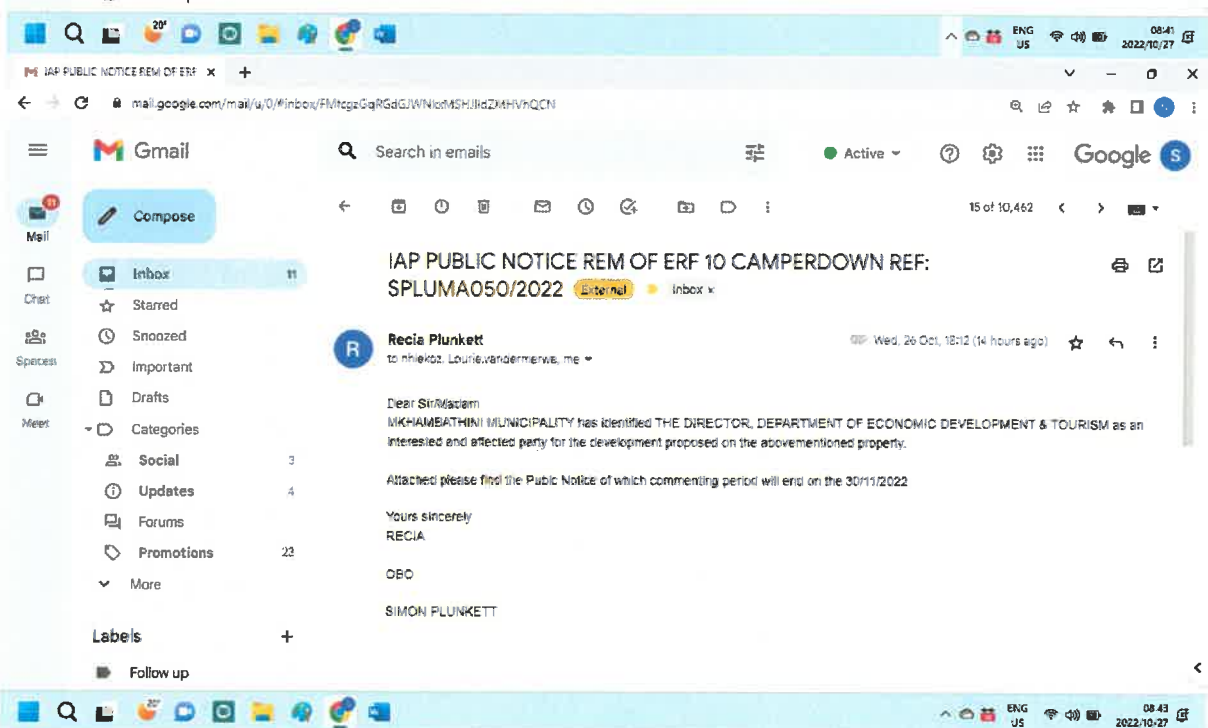
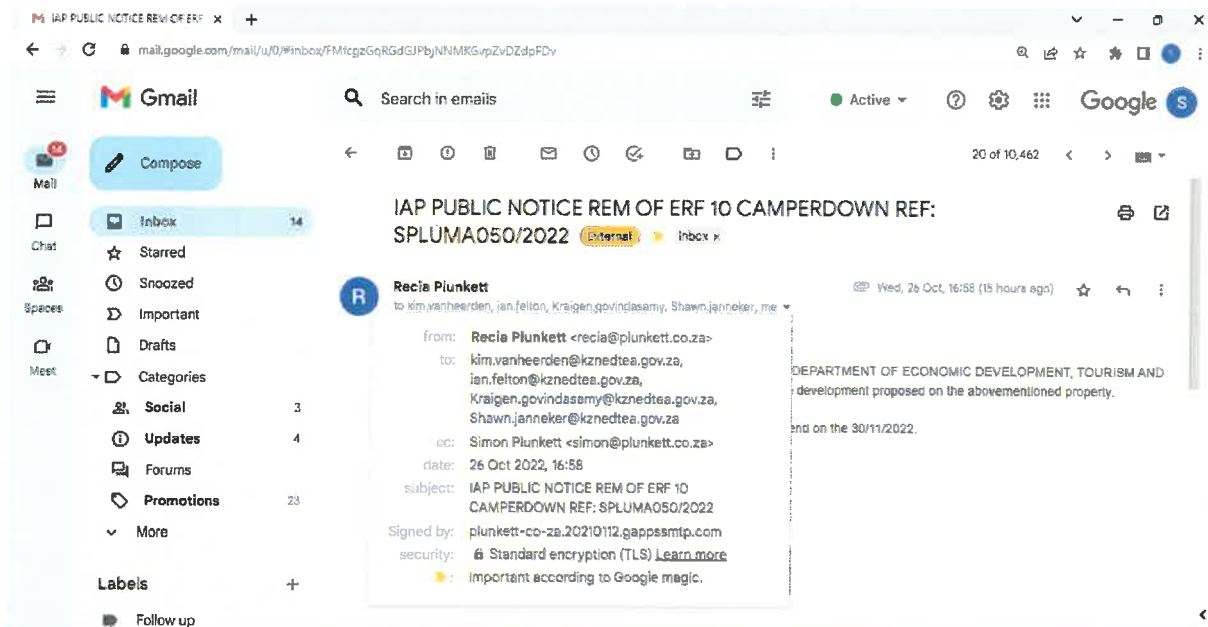
affected party for the development proposed on the 30/11/2022.

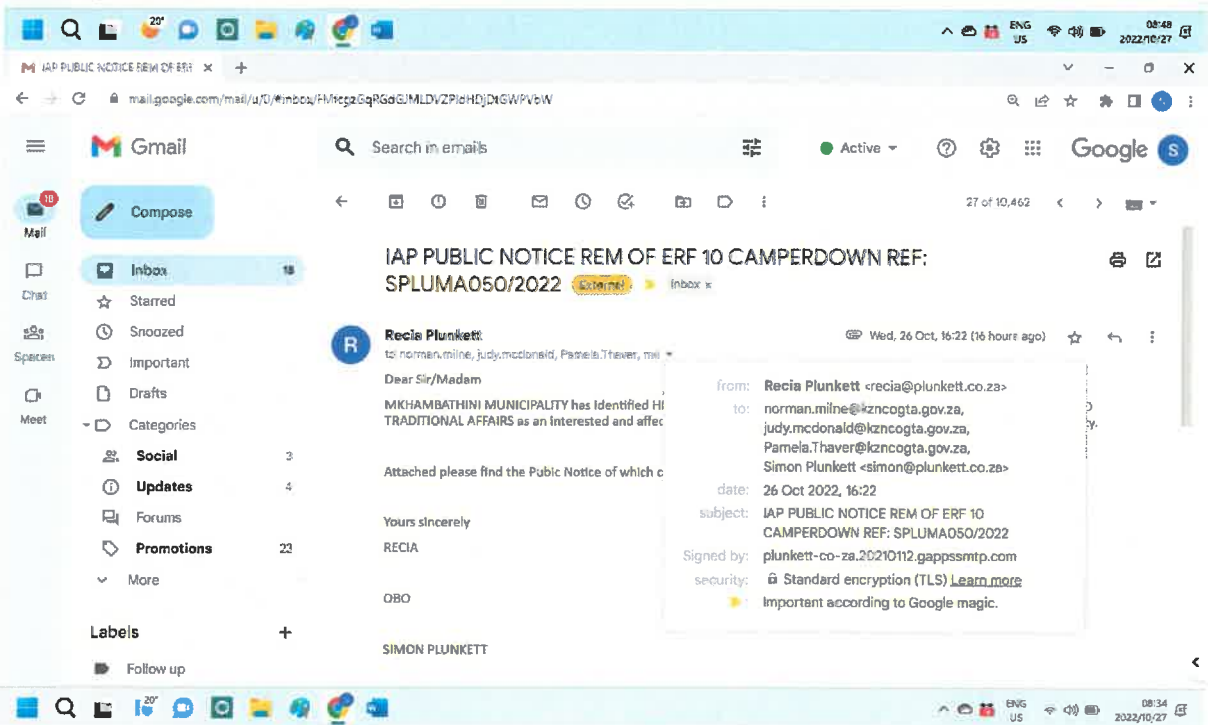
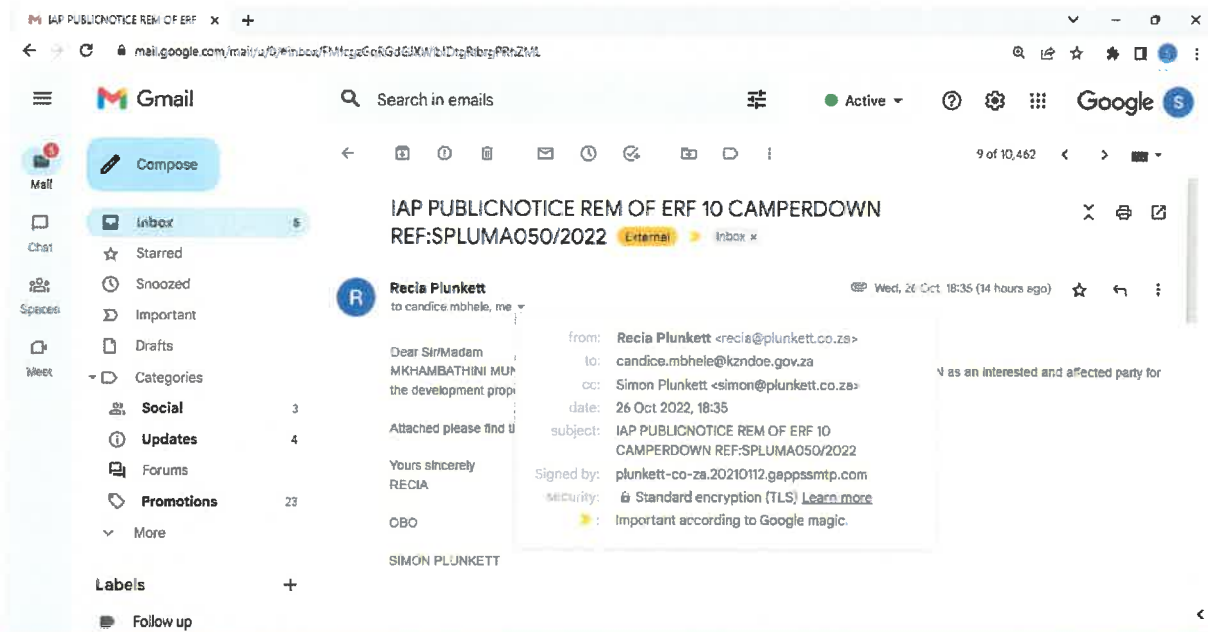
220











IAP PUBLIC NOTICE REM OF ERF x +

mail.google.com/mail/u/0/#inbox/f-Mfcg2GqRGdGJXVqgCxfBqVymMk/bmjnk

Gmail Search in emails

Compose

Mail

Inbox 7

Starred

Snoozed

Important

Drafts

Categories

Social 3

Updates 4

Forums

Promotions 23

More

Labels +

Follow up

IAP PUBLIC NOTICE REM OF ERF 10 CAMPERDOWN REF: SPLUMA050/2022

Recia Plunkett to nixellis2222@gmail.com, timmason, me

Dear Sir/Madam  
MKHAMBATHINI MUNICIPALITY has id  
interested and affected party for the dev

Attached please find the Pubic Notice of

Yours sincerely  
RECIA

OBO

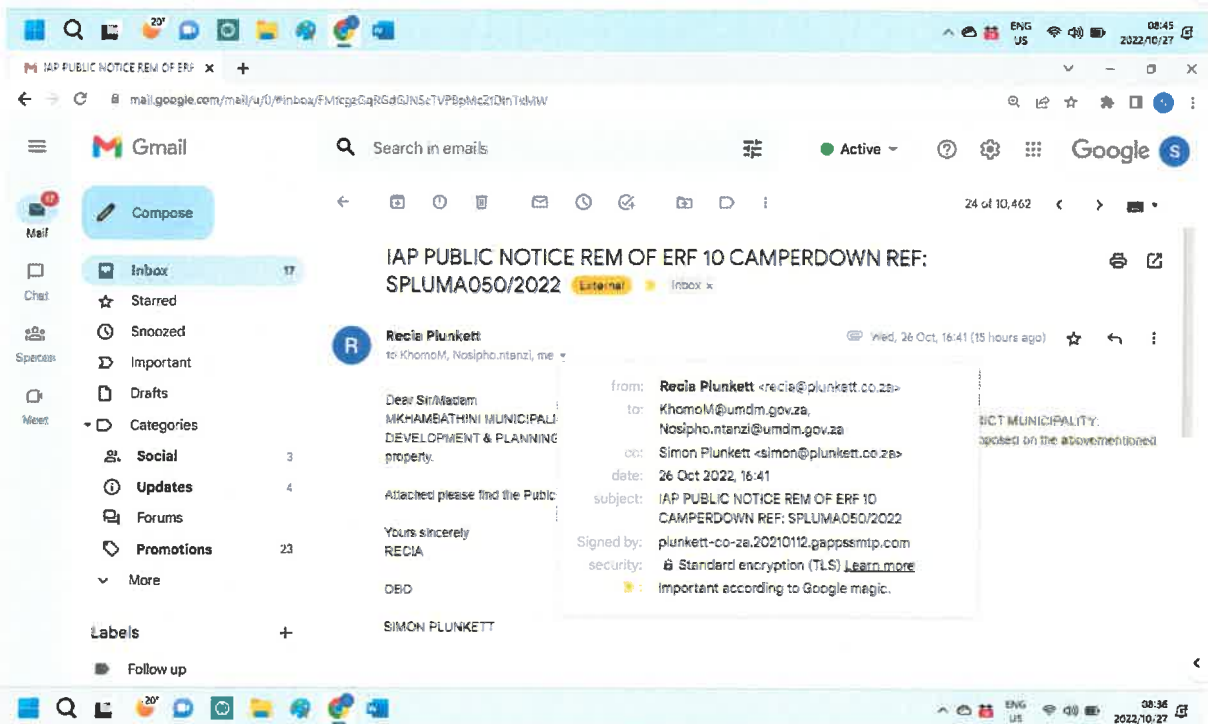
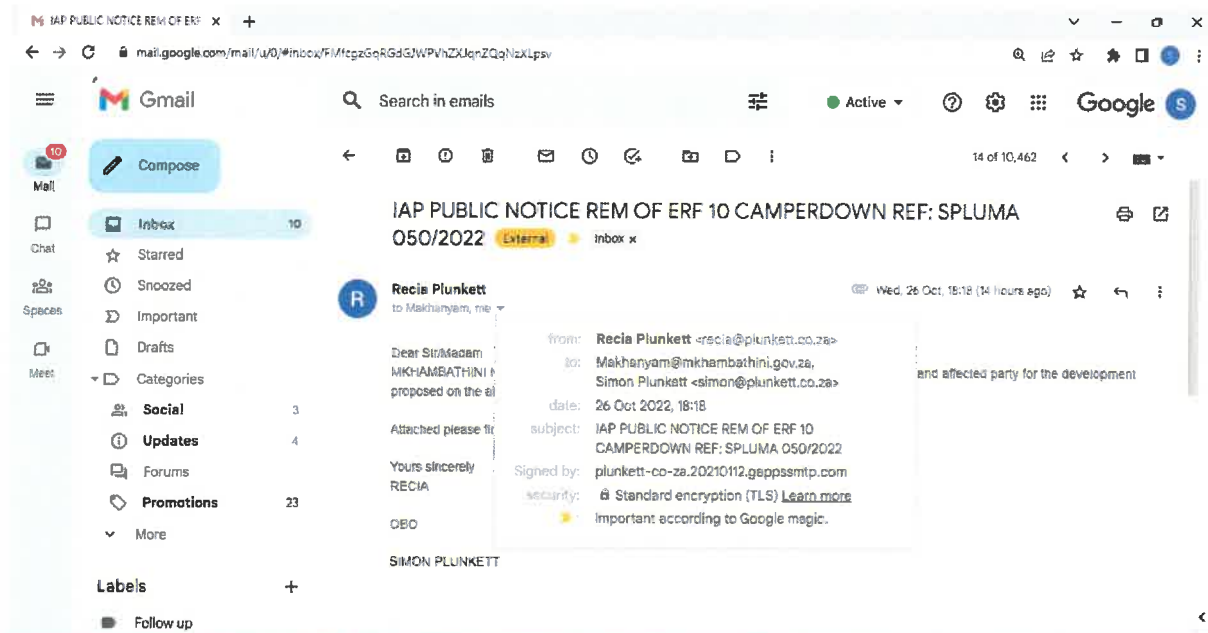
SIMON PLUNKETT

from: Recia Plunkett <recia@plunkett.co.za>  
to: "nixellis2222@gmail.com"  
<nixellis2222@gmail.com>,  
timmason@pmbwi.co.za  
cc: Simon Plunkett <simon@plunkett.co.za>  
date: 26 Oct 2022, 18:28  
subject: IAP PUBLIC NOTICE REM OF ERF 10  
CAMPERDOWN REF: SPLUMA050/2022  
Signed by: plunkett-co-za.20210112.gappssmtp.com  
security: Standard encryption (TLS) [Learn more](#)  
Important according to Google magic.

11 of 10,462

ENG US 08:47 2022/10/27

226



IAP PUBLIC NOTICE REM OF ERF 10 CAMPERDOWN REF: SPLUMA050/2022

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23 of 10,462

Compose

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Snoozed

Important

Drafts

Categories

Social 3

Updates 4

Forums

Promotions 23

More

Labels

Follow up

Dear Sir/Mada: MKHAMBATHI ENVIRONMEN property.

Attached pleas

Yours sincerely, RECIA

OBO

SIMON PLUNKETT

from: Recia Plunkett <recia@plunkett.co.za>

to: Simon Plunkett <simon@plunkett.co.za>, mkhizes@umdm.gov.za

date: 26 Oct 2022, 16:48

subject: IAP PUBLIC NOTICE REM OF ERF 10 CAMPERDOWN REF: SPLUMA050/2022

Signed by: plunkett-co-za.20210112.gappsmtmp.com

security: Standard encryption (TLS) [Learn more](#)

Important according to Google magic.

NDLOVU DISTRICT MUNICIPALITY: development proposed on the abovementioned

IAP PUBLIC NOTICE REM OF ERF 10 CAMPERDOWN REF: SPLUA050/2022

Search in emails

Active

13 of 10,462

Compose

Inbox 9

Starred

Snoozed

Important

Drafts

Categories

Social 3

Updates 4

Forums

Promotions 23

More

Labels

Follow up

Dear Sir/Madam

MKHAMBATHINI MUNICIPALITY has identified TELKOM SA LIMITED – WAYLEAVE MANAGEMENT EASTERN REGION as an interested and affected party for the development proposed on the abovementioned property.

Attached please find the Public Notice of which commenting period will end on the 30/11/2022.

Yours sincerely  
RECIA

OBO

SIMON PLUNKETT

228

Two screenshots of a Gmail interface showing an email from Recia Plunkett. The top screenshot shows the email received on Thursday, 27 Oct 2022, 11:45. The bottom screenshot shows the email received on Wednesday, 26 Oct 2022, 18:24. Both emails are titled "IAP PUBLIC NOTICE REM OF ERF 10 CAMPERDOWN REF: SPLUMA050/2022" and are marked as "External" and "Important".

**Top Screenshot (27 Oct 2022):**

**From:** Recia Plunkett <recia@plunkett.co.za>  
**To:** RaymondC@openserve.co.za  
**CC:** Simon Plunkett <simon@plunkett.co.za>  
**Date:** 27 Oct 2022, 11:45  
**Subject:** IAP PUBLIC NOTICE REM OF ERF 10 CAMPERDOWN REF: SPLUMA050/2022  
**Signed by:** plunkett-co-za.20210112.gappssmtp.com  
**Security:** Standard encryption (TLS) [Learn more](#)  
**Importance:** Important according to Google magic

**Body:** Dear Sir/Madam, MKHAMBATHINI proposed on the... Attached please find the Public Notice of... Yours sincerely, RECIA. OBO. SIMON PLUNKETT

**Bottom Screenshot (26 Oct 2022):**

**From:** Recia Plunkett <recia@plunkett.co.za>  
**To:** Rishir@openserve.co.za, Stambiso.mchunu@openserve.co.za, mchunusr@telkom.co.za, Simon Plunkett <simon@plunkett.co.za>  
**Date:** 26 Oct 2022, 18:24  
**Subject:** IAP PUBLIC NOTICE REM OF ERF 10 CAMPERDOWN REF: SPLUMA050/2022  
**Signed by:** plunkett-co-za.20210112.gappssmtp.com  
**Security:** Standard encryption (TLS) [Learn more](#)  
**Importance:** Important according to Google magic

**Body:** Dear Sir/Madam, MKHAMBATHINI MUNICIPALITY has ide proposed on the abovementioned proper... Attached please find the Public Notice of... Yours sincerely, RECIA. OBO. SIMON PLUNKETT

229

Mr. C. & Mrs. S. Taylor  
17 Scott Street  
Camperdown  
3720  
[clifford.taylor1957@gmail.com](mailto:clifford.taylor1957@gmail.com)

14 November 2022

The Planning and Land Use Management Registrar  
Mkhambathini Municipality  
18 Old Main Road  
Camperdown  
3720  
[mbonambiz@mkhambitini.gov.za](mailto:mbonambiz@mkhambitini.gov.za)

Dear Ms. Z. Mbonambi,

**COMMENTS ON PLANNING CONSENT APPLICATION FOR FORTY FIVE  
MEDIUM DENSITY HOUSING UNITS ON REMAINDER ERF 10  
CAMPERDOWN**

We have a number of concerns about the application that are listed briefly here as follows:

**1.0 ROAD WIDENING AND MUNICIPAL FINANCIAL IMPLICATIONS**

1.1 Has the municipality agreed to the donation of the section of road that will be donated to the municipality for road widening?

1.1.1 There is no letter in the application confirming the acceptance of the road section donation.

1.1.2 Please can a Municipal letter be forwarded to us confirming Municipal acceptance of the responsibility for the donation process, the implementation process and the funding of the implementation process.

1.2 Does the municipality have the requisite funds set aside in the current budget for the road donation and road widening process?

1.2.1 Please can such a letter be forwarded to us confirming that the Municipality has the funds at hand to implement the road widening process.

1.3 When will the work be initiated on the road widening process by the Municipality?

**2.0 STORM WATER MANAGEMENT**

2.1 The application calls for two attenuation areas for storm water management as well as storm water harvesting in Jojo Tanks. Is the developer providing the funding for the development of the storm water management system including the Jojo Tanks and attenuation ponds?

2.1.1 Are the prospective buyers assumed to be responsible for the purchase of the Jojo Tanks? Who will monitor this element of the implementation process?

2.2 Has the Municipal Engineer /District Municipal Engineer approved the location and proposed rather vague design of the attenuation ponds?

2.2.1 Are two attenuation ponds sufficient for the scale of the development?

2.3 Who will carry the costs if our property, being immediately next to the proposed development, is flooded as a consequence of a failed storm water management system implemented on the application site? Our property has been flooded on several occasions by the water stemming from the application site during the summer rainy season.

2.3.1 We, the owners of Erf No 18, hereby notify the Municipality and the developer that we shall hold both parties fully responsible for any flood or sewage damage or contamination of our site resulting from the proposed development.

2.4 The storm water management recommendations and environmental management requirements need to be spelt out in the conditions of establishment and augmented with contamination and flood mitigation measures.

### **3.0 SEPTIC TANKS & GEOLOGY REPORT**

3.1 We object to the proposal that the development be serviced through a septic tank system.

3.1.1 Given the clay conditions of the soils and geological underlay of the property a water borne sewage system is an imperative.

3.2 The geology report is based on percolation tests that were undertaken in 2007 which is fifteen years ago. Given the extensive changes in climatic conditions, intensity and increased frequency of storms, it is essential that the geology report be properly updated.

3.3 The geology report refers to a different erf description that seems to be smaller than the layout area. The report veracity and its applicability to the 2022 application thus needs to be checked by the Municipal engineers and services officials in the interest of public efficacy.

3.4 As it stands, we object to the amended geology report's limited contents as being inadequate to the scale and nature of the development.

### **4.0 LANDSCAPE MANAGEMENT**

4.1 The application does not address landscape management adequately in the light of the conditions discussed under geology, sewage and grey water management.

4.2 Who will be responsible for suitable landscaping of the site?

4.3 If landscaping is relegated to the purchasers, the storm water management process

will be exacerbated.

4.4 A suitable environmental expert must be appointed to address the landscape management process.

5.0 The expected uptake of properties in the application is not substantiated empirically.

6.0 There is no evidence of an economic analysis of the supply and demand for housing in the area.

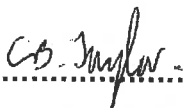
7.0 We are not convinced that the development is needed since an important green lung in the small residential area of Camperdown will be lost through this unsubstantiated development.


8.0 It would be more appropriate for the owner to donate the site to the Municipality for conservation purposes.

9.0 We also request that we be furnished with a copy of Mr Simon Plunkett's certificate of good standing with SACPLAN.

**10.0 Should all our concerns noted in this letter be corrected in full to the satisfaction of the Municipality and ourselves, we will support the application.**

Sincerely,

  
.....  
Mr. C. Taylor

  
.....  
Mrs. S. Taylor



**Simon Plunkett**

**21 December 2022**

Email: [simon@plunkett.co.za](mailto:simon@plunkett.co.za)

**To: Mr S Mngwengwe  
ACTING MUNICIPAL MANAGER  
Private Bag X04  
CAMPERDOWN  
3720**

**CO: Ms Z Mbonambi  
Email: [Mbonambiz@mkhambathini.gov.za](mailto:Mbonambiz@mkhambathini.gov.za)**

**CC: Mr. C and Mrs S. Taylor  
17 Scott Street  
Camperdown  
3720  
Email: [clifford.taylor1957@gmail.com](mailto:clifford.taylor1957@gmail.com)**

**RESPONSE TO COMMENTS RECEIVED REGARDING A CONSENT APPLICATION FOR 45 MEDIUM DENSITY HOUSING UNITS, REZONING OF ROADS AND RELAXATION OF BUILDING LINES ON REMAINDER OF ERF 10 CAMPERDOWN LOCATED AT THE INTERSECTION OF SCOTT AND VICTORIA STREETS – SPLUMA 050/2022**

The following responses follow the numbering of the Commentor for ease of reference.

#### **1.0 ROAD WIDENING**

**1.1 The road widening in question is a 9.00m section along the Northern end of the property. This will enable the Municipality to then have an 18.00m wide reserve for the road that leads from the entrance of Eagles Aire to Alfred Storm Road.**

**This tract of land is 1760.00m<sup>2</sup> in extent and the owners would like some form of compensation for this section of the property**

**1.1.1 Refer to the above.**

**1.1.2 As the owner would like compensation for the land in question there will need to be some form of agreement between the parties.**

**At this stage the intent of the application is for consent to permit Medium Density Development in the Special Residential 1300 zone as permitted in the Town Planning Scheme.**



**Simon Plunkett**

- 1.2 No comment can be provided regarding the requisite funds for the purchase of the widening or for the later subdivision of this portion. Neither can there be comment on the Municipality's timing of construction of the widened road.

All internal roads of the development are constructed at the developers cost and maintained within the development by the Body Corporate. The Municipality is not required to contribute financially to the internal roads at all.

- 1.3 The Municipality may never construct the road widening. There are many factors that will influence that decision. (Traffic volumes, acquisition of other portions of land along the road, availability of funds and resources etc).

The area for road widening has been set aside by the developer and will not be built upon. Should the road not be purchased by the Municipality, it will be walled off as part of the development, but still not be built upon. If the land is never purchased, the wall will remain. At some stage, should the Municipality then decide to purchase the area in the future, the wall will be demolished and moved to the boundary shown on the site development plan. Compensation for the wall will be required.

The area will always remain available to the Municipality when they decide to initiate the acquisition and widening process.

## **2.0 STORM WATER MANAGEMENT**

- 2.1 The management of stormwater can be divided into 2 parts. The first part being the internal road runoff catchment. The other being the management of roof water for the maximum benefit of the new owners.

The 2 attenuation areas are to be designed to hold runoff water that is released into the towns stormwater drainage system over a period during and after the storm.

All development inside the property becomes part of the house selling price and hence funded by the development. This includes the stormwater drains, attenuation ponds and household storage tanks.

- 2.1.1 Each tank will be reflected on the building plans submitted to the Municipality for approval. The Municipality ensures compliance with the building plans. These will be installed by the Developer.

- 2.2 The Attenuation Ponds are sized by the Civil Engineer during the Road and Stormwater detail design phase. Once again, formal designs are submitted to the Municipality for approval. The Engineer and the Municipality monitor construction.



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**2.2.1** The ponds are calculated for catchment and discharge. Their intended use is to prevent downstream flooding during the actual storm by delaying the release of water. The two ponds cater for the runoff calculated from the drainage areas and are sized for 1 in 50 year rainfall events which is a significant storm event.

**2.3** The Body Corporate will have insurance to cover such incidents as referred to in this case.

The project intends to wall the property which will afford additional protection to the adjacent properties.

**2.4** The Stormwater Management report indicates the requirements of the project. The Civil Engineer and the Municipality are responsible for the enactment of that plan. The conditions of establishment refer to the storm water responsibilities of the development.

### **3.0 SEPTIC TANKS AND GEOLOGY REPORT**

**3.1** While the objection is noted there is no other means of sewerage disposal. The same applies to the majority properties alongside Alfred Storm road that were part of the original Erf 10 Camperdown.

The project has been planned to be water wise with the following considerations:

- Roof water to be used where possible to flush toilets, garden taps, car washing etc.
- Roof water storage overflow, hand basins, bath and shower water to be irrigated through a sprinkler system from underground storage.

Through these techniques the amount of sewerage entering the septic system will be halved.

**3.1.1** The Geotechnical report has found the soils to permeate sufficiently well for Davies Lynn and Partners to recommend soak pits. Waterborne sewerage treatment infrastructure is not available to the site. Discussions with the Umgungundlovu District Municipality were unsuccessful in trying to find an alternative solution.

**3.2** Time will not change the soils ability to absorb water. Camperdown's rainfall is still only averaging 1m per year.

According to Weatherspark.com – (<https://weatherspark.com>) "Camperdown experiences extreme seasonal variation in monthly rainfall. Rain falls throughout the year in Camperdown. The month with the most rain in Camperdown is January, with an average rainfall of 7.1 inches. The month with the least rain in Camperdown is June, with an average rainfall of 0.7 inches".



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- 3.3 The report was undertaken and approved for the construction of 31 houses without limitation on the 20 to 25% coverage and FAR. Under the proposed development there are controls over house size and water usage. The drop in underground water disposal is considerable.

The Geotechnical report was revised in February 2022 to cater to the 45 units applied for in the application. It is therefore applicable to the current time frame and not 2007. This revision was also requested by the Municipality and is considered suitably updated.

- 3.4 Further, each house constructed will be subjected to its own percolation test to comply with the requirements of the NHBRC's geotechnical standards prior to the commencement of construction. The Architect/Engineer will design the sewerage system appropriately.

#### **4.0 LAND MANAGEMENT**

- 4.1 This is a finishing aspect of the development and will be undertaken by landscapers, working on behalf of the Developers, to ensure compliance with the water runoff limitations. This includes evapotranspiration friendly planting in the soak-pit areas and grassing in the irrigated areas.
- 4.2 Refer above.
- 4.3 The purchasers will tend their gardens allocated through their curtilage. The Body Corporate ensures that after development enhancements are within the scope of the development. The storm water management system takes precedent over individual landscaping.
- 4.4 Environmental specialists are not a requirement of the development however the landscapers are generally environmentally friendly.
- 5.0/6.0 The Development has been divided into phases. It is anticipated that it could take several years for the development to be fully sold and constructed. While sales may not commence until the Rezoning is approved, many people have expressed interest in the development. This is amplified by the lack of other flat land of this size for development in the Camperdown suburban area.

There is no requirement for economic analysis during the planning approval process. Economic analysis is the Developers consideration entirely. In any event the land is already zoned Special Residential 1300. This shows the intent of the Municipality to have this property developed for residential purposes within that zone. The zone will remain for perpetuity. Should there be no desire by the public to purchase homes, the property will not be developed, but the zone will certainly remain. There are very few developers who will risk building homes before doing their own assessments of market demand.

- 7.0 The property has always been zoned as Special Residential 1300 and has never been identified or zoned as "a green lung" of the Municipality. The "small residential area of Camperdown" is one of the fastest growing industrial hubs on the N3 highway and



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Mkhambathini has wisely sought to capitalise on this. This growth demands the increase in housing.

- 8.0 Should the Municipality wish for this area to be set aside for conservation then it is the responsibility of the Municipality to purchase this valuable tract of land from the present owners. As it stands, the property has been zoned for Residential Development for many years and it is unlikely the Municipality has any intention of changing this.
- 9.0 Mr. Plunkett views this with contempt as it is felt that this is intended as an insult rather than a genuine request. The certificate is attached.
10. While your objections are noted, the process going forward is for the Municipality to consider the stance of all parties and make the decision for amendments to the application if so required before the application is lodged to the SPLUMA Joint Planning Tribunal and the said Tribunal can make further recommendations if needed.

Please call or email if you have any queries.

Yours sincerely

**SIMON PLUNKETT**  
**Pr.Pln A/1983/2014**